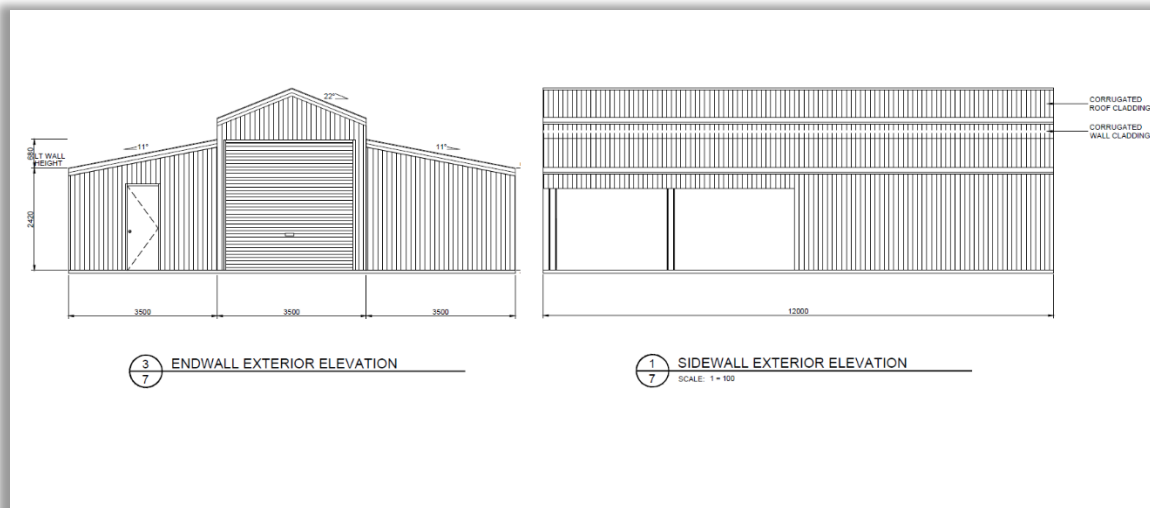


# DEVELOPMENT PACKAGE

## Ancillary Urban/Rural Development –Storage Shed to Pavilion

### Pursuant to HILLTOPS Local Environmental Plan 2022

<b>Proposal</b>	To erect new 10.5m x 12m steel framed, colorbond clad new metal Shed, for storage of tables, chairs and fixtures for Pavilion Use & Hire, when not in use.
<b>Subject Land Address</b>	Lot 1895 DP 754611
	4570 Murringgo Rd, YOUNG 2594
<b>Applicant</b>	Mr Ray Blackwood (Board member) Young Land Manager Board
<b>Owner</b>	The State of NSW – Authority attached
<b>Appn Prepared By</b>	DA Busters – Development Assistance Services Ph: 0466 722 869 ©14 April 2024
<b>LGA</b>	Hilltops Council (former Young Shire Council area)



assisted by:



© APR 2025

# CONTENTS

- 1 DESCRIPTION OF DEVELOPMENT
- 2 SEE - Statement Env Effects / Checklists
- 3 PLANS OF DEVELOPMENT (DA Plans, S Eng)
- 4 PLANNING PORTAL REPORT
- 5 TITLE & DEPOSITED PLAN
- 6 SITE PHOTOGRAPHS / OTHER PLANNING INFO
- 7 OTHER PLANNING SEARCHES

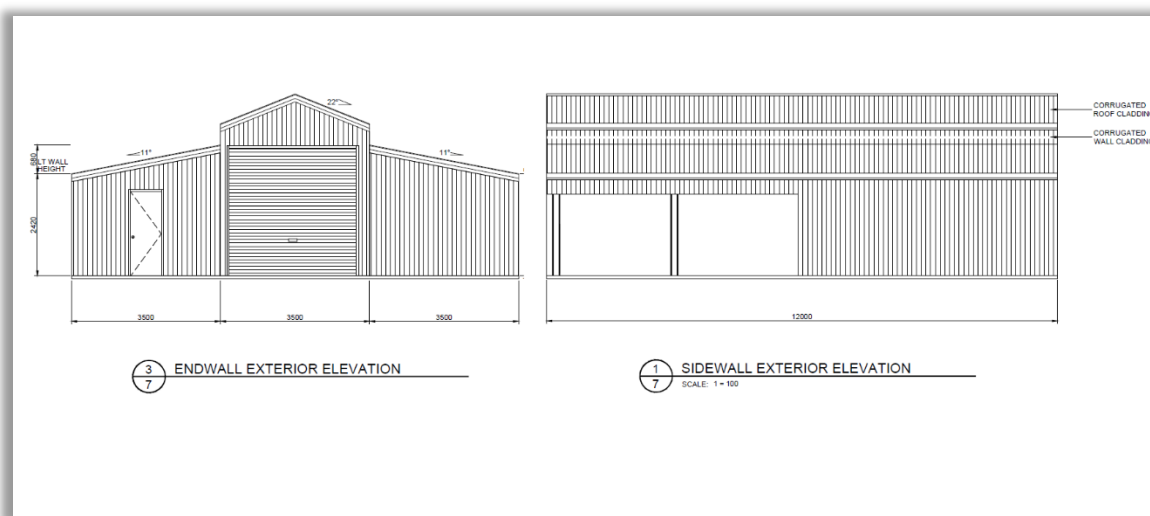
## SECTION 1

### DESCRIPTION OF DEVELOPMENT

## DEVELOPMENT DESCRIPTION AND SPECIFICATIONS

This DA/CC Package is for the construction and use of a 12m x 10.5m shed comprising 1 american barn style shed with bays for storage of tables/chairs and also covered areas for storage of fixtures in the use of the Pavilion when not discharged. The shed is intended for use ancillary to the activities on site and is not sited immediately adjacent, respecting the relative Heritage worth of the Pavilion Building. This activity is permitted by the Crown under arrangement on the Crown Reserve allotment.

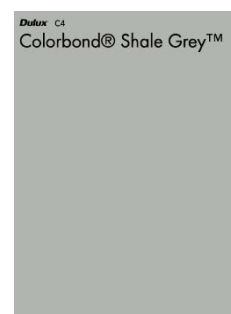
The shed will be sited within the wider gap between the Pavilion and the Poultry Hall at the edge of an unused area save for Sideshow Alley at Annual Show time.



Elevation facing Pavilion on left

The colours as proposed are sympathetic to other outbuildings on site being;

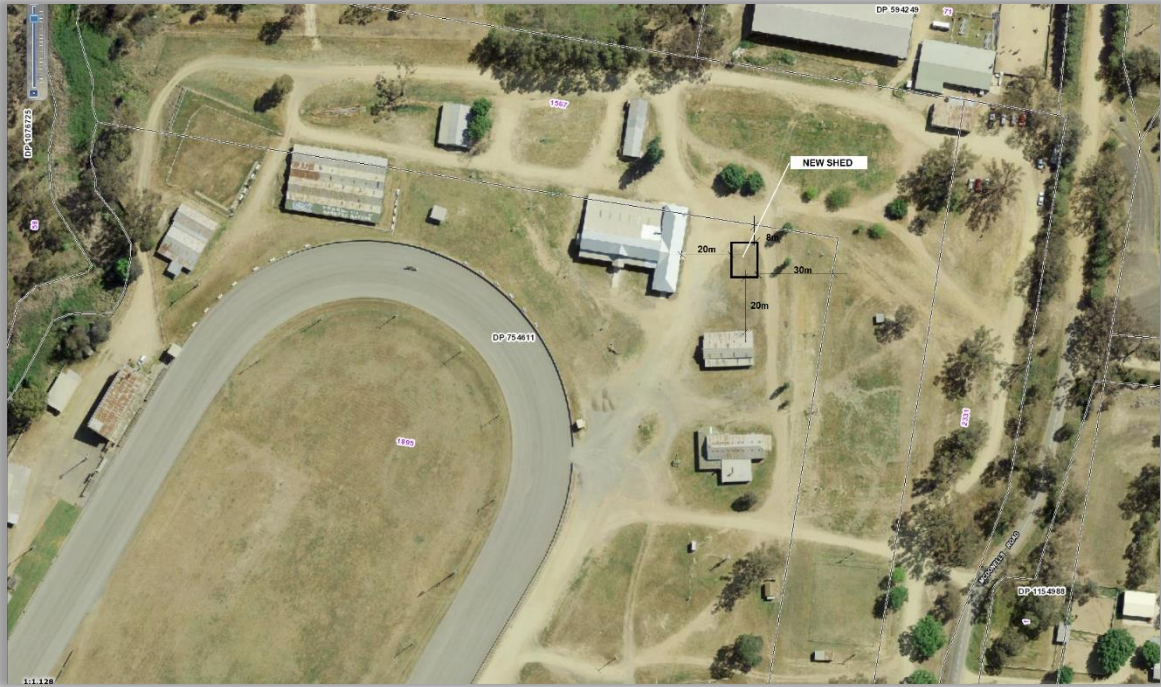
Wall =	Shale Grey
Roof Pale =	Eucalypt
Gutters & Trim =	Gully



No additional traffic movements or the like for the activity is expected, this is just a secure lock up for tables, chairs and items used in full, part or not required and need to be away from the floor space in use.







SIX CLOSE – CIRCA 2012



GOOGLE SITE AERIAL – CIRCA 2024

## SECTION 4.15 CONSIDERATIONS UNDER THE ENVIRONMENTAL PLANNING & ASSESSMENT ACT 1979

### State Environmental Planning Policies (SEPPs)

A number of SEPPs apply to the land, however, only the following have any relevance to the proposed development:

- State Environmental Planning Policy (Biodiversity and Conservation) 2021: Allowable Clearing Area (pub. 21-10-2022) – **Not on affected land**
- State Environmental Planning Policy (Biodiversity and Conservation) 2021: Land Application (pub. 2-12-2021) **Not exceed clearing size**
- State Environmental Planning Policy (Exempt and Complying Development Codes) 2008: Land Application (pub. 12-12-2008) **Not applicable this zone/type**
- State Environmental Planning Policy (Housing) 2021: Land Application (pub. 26-11-2021) **Not applicable**
- State Environmental Planning Policy (Industry and Employment) 2021: Land Application (pub. 2-12-2021) **Not applicable**
- State Environmental Planning Policy (Planning Systems) 2021: Land Application (pub. 2-12-2021) **Not applicable**
- State Environmental Planning Policy (Primary Production) 2021: Land Application (pub. 2-12-2021) **Not applicable**
- State Environmental Planning Policy (Resilience and Hazards) 2021: Land Application (pub. 2-12-2021) **Not expected to impact areas of consideration**
- State Environmental Planning Policy (Resources and Energy) 2021: Land Application (pub. 2-12-2021) **No infrastructure adjacent or impacted**
- State Environmental Planning Policy (Sustainable Buildings) 2022: Land Application (pub. 29-8-2022) **Not expected to impact areas of consideration - storage**
- State Environmental Planning Policy (Transport and Infrastructure) 2021: Land Application (pub. 2-12-2021) **Not expected to impact areas of consideration**

### Local Environmental Plans (LEPs)

#### Hilltops LEP 2022

The relevant provisions of the above LEP, are discussed as follows:

Clause	Complies	Comments
1.2 Aims of plan	Yes	<p>The development is not inconsistent with the following aims of the LEP:</p> <p>(aa) to protect and promote the use and development of land for arts and cultural activity, including music and other performance arts, <b>not applicable</b></p> <p>(a) to protect the natural resources of Young from development that may reduce horticultural and agricultural productivity, while allowing for the planned urban expansion of Young Township, <b>not inconsistent – no impact expected</b></p> <p>(b) to encourage the proper management, development and conservation of resources through the principles of ecologically sustainable development by protecting, enhancing and conserving the following—</p> <p>(i) land of significance to agricultural production,</p> <p>(ii) areas of high scenic value,</p> <p>(iii) areas of significance for nature conservation,</p>

Clause	Complies	Comments
		<p>(iv) timber, minerals, soil, water and other natural resources,</p> <p>(c) to protect, conserve and enhance the natural and cultural heritage of Young, including native biodiversity, threatened species, remnant and riparian vegetation, corridors and links and environmentally sensitive lands,</p> <p><b><i>Siting consistent with existing building (BCA) and DCP</i></b></p> <p>(d) to encourage the renewal and upgrade of the older residential precincts in Young Township, <b><i>not relevant this proposal</i></b></p> <p>(e) to encourage a range of housing, employment, recreational activities and services to meet the needs of existing and future residents of Young.</p> <p><b><i>Consistent with objective and locality</i></b></p>
1.4 Definitions	N/A	The proposed development is defined as a building ancillary to existing <b>community facility</b> use.
1.9A Suspension of covenants, agreements and instruments	Yes	No restrictions as to user / covenants apply to the site of the proposal
2.2 Zoning	N/A	The site is zoned RE2 Recreation – Private
2.3 Zone objectives and land use table	Yes	<p>The development is permitted with consent, in accordance with the Act &amp; Regulations for an <b>ancillary permissible use</b>. The Land Use table objectives are reproduced below, and it is not entirely inconsistent with the following objectives of the zone:</p> <p>(a) To enable land to be used for private open space or recreational purposes.</p> <p>(b) To provide a range of recreational settings and activities and compatible land uses.</p> <p>(c) To protect and enhance the natural environment for recreational purposes.</p>
2.7 Demolition	N/A	Nil demolition
2.8 Temporary use of land	N/A	The application is not for the temporary use of land.
4.6 Exceptions to dev stds	Yes	None sought
5.10 Heritage Conservation	Yes	<p>There are items of European heritage identified on the Schedule in the LEP as being present on-site, but the site is not located in a Heritage Conservation Area (HCA).</p> <p>This building is plain, away from items of relevance and swerves a contemporary supporting role. It does not detract from the Cultural worth of the existing structures.</p> <p>A search of the Aboriginal Heritage Information Management System (AHIMS) database shows that no Aboriginal sites have been recorded, and no Aboriginal places have been declared, within 50 metres of the allotment, so the likelihood of disturbing relics is minimal.</p>



Clause	Complies	Comments
5.16 Subdivision of, or dwellings on, land in certain rural, Res, or EP zones	N/A	Not applicable this development
6.1 Earthworks	OK	Level ground no impact
6.2 Essential Services	Complies	Development consent must not be granted to development unless the consent authority is satisfied the following services that are essential for the development are available or that adequate arrangements have been made to make them available when required— (a) the supply of water, <i>n/a</i> (b) the supply of electricity, <b><i>not required but available adjacent</i></b> (c) the disposal and management of sewage, <b><i>no fixtures</i></b> (d) stormwater drainage or on-site conservation, <b><i>disposal to surface disposal lines adjacent</i></b> (e) suitable road access <b><i>exists to site</i></b>
6.3 Terrestrial Biodiversity	N/A	Not mapped as affected
6.4 Water - Riparian	N/A	Not mapped as affected
6.5 Water – G/water Vulnerable	Yes	Is mapped as affected yet no site inputs
6.6 Salinity	N/A	Not mapped as affected
6.7 Highly Erodible Soils	N/A	Not mapped as affected
6.8 Drinking Water Catchments	N/A	N/A
6.9 Development along Lachlan & Boorowa Rivers & Lake Wyangla	N/A	N/A
6.10 Development on Carinya Estate	N/A	N/A
6.11 DCP for Urban Release Areas	N/A	Not mapped as affected

***Development Control Plans (DCPs)***

*Young Development Control Plan*

No Section applies to buildings on Recreation zoned land

*Hilltops Draft Development Control Plan 2025*

No Section applies to buildings on Recreation zoned land

---

## SECTION 2

### COUNCIL TEMPLATE S.E.E, (Completed for project)

**A. DESCRIPTION OF DEVELOPMENT:** Provide details of your development

<b>Property address</b>	LOT 1895 DP 754611, 4570 MURRINGO RD YOUNG 2594	
<b>Proposed structures</b> (e.g. garage, carport, shed, water tank, pergola, etc)	10.5m X 12m LOCKABLE SHED FOR STORAGE OF PAVILION ITEMS WHEN NOT IN USE (CHAIRS/TABLES/FIXTURES/DECORATIONS)	
<b>Nature of use</b> (e.g. storage, parking, etc)	STORAGE ANCILLARY TO COMMUNITY USE BUILDING ON SITE	
<b>Particulars</b>	<b>Shown on plans</b>	<b>Description</b> (provide written details if not clearly shown on plan)
<b>Building materials</b> (e.g. brick, hardiplank, colorbond, zincalume, etc)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	STEEL FRAME, COLORBOND WALLS CONC FLOOR
<b>Colours</b>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	SHALE GREY, PALE EUCALYPT, GULLY
<b>Demolition</b>	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A	N/A
<b>Earthworks</b> (location, extent and depth of all cut and fill proposed)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	N/A - FOOTINGS ONLY
<b>Tree removal</b> (identify location, size and species of tree/s)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	NO TREES NEARBY
<b>Wall and roof height or height of structure</b>	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Wall height <u>2.42m &amp; 3.1m</u> <input type="checkbox"/> Roof height <u>4.307m</u> <input type="checkbox"/> Other height _____ (if not a building)
<b>Gross floor area (m<sup>2</sup>) or capacity (l)</b>	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> gross floor area <u>126 sq.m</u> (for buildings) <input type="checkbox"/> capacity <u>10.5m X 12m</u> (swimming pool, water tank)
<b>Open space (m<sup>2</sup>)</b>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	LARGE OPEN RESERVE
<b>Landscaping</b> (type and location)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	NOT PROPOSED
<b>Setbacks from each boundary</b>	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> North: <u>8m</u> <input type="checkbox"/> South: <u>290m</u> <input type="checkbox"/> East: <u>20m</u> <input type="checkbox"/> West: <u>230m</u>

**B. SITE & LOCALITY DESCRIPTION:** Provide details of the site and adjacent lands

Please ensure the following details have been shown on your site plan, as a minimum:

- |   |   |                                      |                                |
|---|---|--------------------------------------|--------------------------------|
| <input type="checkbox"/> site dimensions    | <input type="checkbox"/> site area          | <input type="checkbox"/> north point | <input type="checkbox"/> scale |
| <input type="checkbox"/> existing buildings | <input type="checkbox"/> proposed buildings | <input type="checkbox"/> easements   | <input type="checkbox"/> trees |

<u>Issue</u>	<u>Details</u>
<b>Present use of the site</b>	YOUNG SHOWGROUNDS COMMUNITY USE
<b>Past use/s of the site</b>	YOUNG SHOWGROUNDS COMMUNITY USE
<b>Describe any existing dwellings or built structures on the land</b> (e.g location, number, storeys, building material, etc)	PAVILION GRANDSTAND SHOW SHEDS EXHIBITION HALLS MENS SHED TROTting TRACK & CENTRAL ARENA
<b>Describe the key physical features of the site</b> (e.g shape, slope, significant trees or vegetation, dams, waterways, drainage lines, etc)	LEVEL AT SITE
<b>Is the land classified as bushfire prone ?</b> (You can check this with Council or a recent 10.7 Certificate. In some cases a Bushfire Risk Assessment Report may be required)	
<div><input type="checkbox"/> Yes</div> <div><input checked="" type="checkbox"/> No</div>	
<b>Locality characteristics</b> Describe the type and nature of adjacent land uses, e.g <ul style="list-style-type: none"><li>• residential, commercial, industrial;</li><li>• older or more modern construction;</li><li>• single or two storey;</li><li>• building materials;</li><li>• single dwelling houses or unit developments,</li><li>• etc.</li></ul>	ADJACENT Riding for Disabled, Pony Club AND NEARBY EXISTING USE INDUSTRY  MINIMAL IMPACT



## C. COMPLIANCE WITH PLANNING CONTROLS

**Local Environmental Plan**– Complete the following table to show how your development complies with the relevant provisions of the LEP. If your development is not consistent with the requirements, you need to provide justification for all variations, or may need to seek a formal variation. A copy of the LEP and the associated maps (zoning, lot size, heritage, biodiversity, land and water) can be found at <http://www.legislation.nsw.gov.au/main/top/view/inforce/epi+404+2010+cd+0+N>.

<b>Clause</b>	<b>Issue</b>	<b>Complies</b>	<b>Comment</b>
<b>2.1 – Land use zones</b>	What is the zoning of the land?		<b>Zoning:</b> RE2 RECREATION PRIVATE
<b>2.3 – Zone objectives and land use table</b>	Is a dwelling house permissible in the zone ?	<input type="checkbox"/> Yes <input type="checkbox"/> No	N/A COMMUNITY & RECREATION OUTDOOR
<b>4.6 – Exceptions to development standards</b>	Are you seeking a variation to a development standard in the LEP ?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<p>If yes, because your proposal varies from any standard in the LEP (such as minimum lot size), you must include a separate written statement, justifying the non-compliance.</p> <p>If yes, statement attached - <input type="checkbox"/> Yes <input type="checkbox"/> No</p>
<b>5.10 – Heritage conservation</b>	Is any part of your property an item of heritage or within a heritage conservation area ?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<p>If so, you must include a written statement and/or Heritage Impact Statement, detailing the potential impact on the item or HCA, and how the impact will be minimised.</p> <p>If yes, statement attached - <input type="checkbox"/> Yes <input type="checkbox"/> No</p>
<b>PART 6: Erection of dwelling houses</b> (Applies to the RU1, RU4, RU5, R5 & E3	Is the land the necessary minimum lot size to permit a dwelling ?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A	
<b>Land</b>	Is the land identified as a “sensitive land area” ?  The land maps are at: <a href="http://www.legislation.nsw.gov.au/map/index?type=epi&amp;year=2010&amp;no=404">http://www.legislation.nsw.gov.au/map/index?type=epi&amp;year=2010&amp;no=404</a> .	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<p>If yes, how will any adverse environmental impacts be minimised and managed ?</p> <p style="text-align: center;">NOT MAPPED</p>
<b>Water</b>	Is the land identified as a “riparian corridor” or “groundwater vulnerability” ?  The water maps are at: <a href="http://www.legislation.nsw.gov.au/map/index?type=epi&amp;year=2010&amp;no=404">http://www.legislation.nsw.gov.au/map/index?type=epi&amp;year=2010&amp;no=404</a> .	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<p>If yes, how will any adverse environmental impacts be minimised and managed ?</p> <p style="text-align: center;">NOT MAPPED</p>

<b>Biodiversity</b>	Is the land identified as an "area of high biodiversity" ?  The biodiversity maps are at: <a href="http://www.legislation.nsw.gov.au/mapindex?type=epi&amp;year=2010&amp;no=404">http://www.legislation.nsw.gov.au/mapindex?type=epi&amp;year=2010&amp;no=404</a> .	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	If yes, how will any adverse environmental impacts be minimised and managed ?  MAPPED YET NO IMPACT AT SITE CHOSEN
<b>Flood planning</b>	Is the land subject to flood related development controls ? You can check this with Council or a recent 10.7 Certificate. In some cases a Flood Risk Report may be required.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	If yes, your proposal shall show that it is compatible with the flood hazard and will not increase risk to the environment, building or life.  NOT MAPPED NO IMPACT
<b>Development Control Plan</b> – Complete the following table to show how your development complies with the relevant provisions of the DCP. If your development is not consistent with the requirements, you need to provide justification for all variations. A copy of the DCP can be found at <a href="http://www.hilltops.nsw.gov.au">www.hilltops.nsw.gov.au</a> .			
<b>Performance outcome</b>	<b>Control</b>	<b>Complies</b>	<b>Comment</b> If your proposal does not meet the stated control (Column 2), you must provide details on how the proposal satisfies the performance outcome (Column 1).
Development shall be sited to minimise visual impact on how it addresses the streetscape	Development shall be setback 6m from the primary frontage and 3 m from any secondary frontage	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	ADJACENT AND BEHIND EXISTING HALLS/PAVILIONS
	Materials used shall minimise glare	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	COLORBOND PROPOSED
Development shall be sited to ensure practical serviceability	Development shall be no closer to the side and rear than 900 mm	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	IN A CLEAR SPACE ON SITE
Residential development is designed to reflect vehicle and occupant safety principles	Dwelling design must comply with one of the deemed to satisfy provisions of the DCP, in order to restrict access to parking areas which are attached or adjacent to dwellings	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A	NOT RESIDENTIAL - JUST AN OUTBUILDING

## D. ASSESSMENT OF THE LIKELY IMPACTS OF THE DEVELOPMENT

**Construction** – How will construction noise, rubbish removal and sedimentation and erosion controls be managed during construction ?

Comments

KIT STYLE SHED - RAPID BUILD WITH SLAB & FOOTINGS

**Context and setting** – Will the development be ...

- visually prominent in the area ? ☐ Yes ☐ No
- out of character with the area? ☐ Yes ☐ No
- inconsistent with the streetscape ? ☐ Yes ☐ No
- inconsistent with adjacent land uses? ☐ Yes ☐ No

Comments

MINIMAL IMPACT IN LOCALITY

**Privacy** - Will the development result in any ...

- privacy issues between adjoining properties, as a result of the placement of windows, decks, pergolas, private open space ? ☐ Yes ☐ No
- acoustic issues between adjoining properties as a result of the placement of outdoor areas, vehicle movements, air conditioners, pumps, windows, etc ? ☐ Yes ☐ No

Comments – If yes, identify any measures proposed to mitigate any of the above impacts (e.g fencing, screening, vegetation, etc)

OPEN PUBLIC USE LAND FOR COMMUNITY PURPOSE

### Overshadowing

- Will the development result in the overshadowing of adjoining properties, resulting in an adverse impact on solar access. ☐ Yes ☒ No

Comments

NO IMPACT

### Views

- Will the development result in the loss of views enjoyed from neighbouring properties or public spaces ? ☐ Yes ☐ No

Comments

NO VIEW LOSS

## SECTION 3

# PLANS OF DEVELOPMENT STRUCTURAL ENGINEERS DRAWINGS

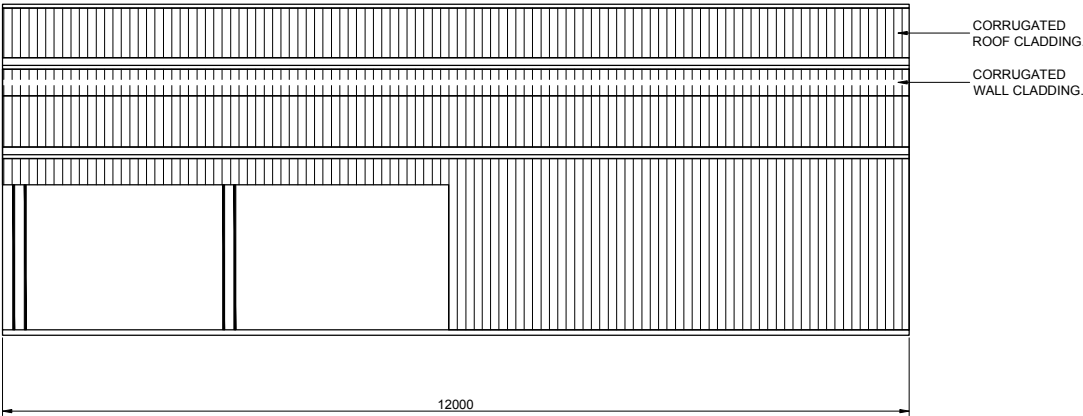




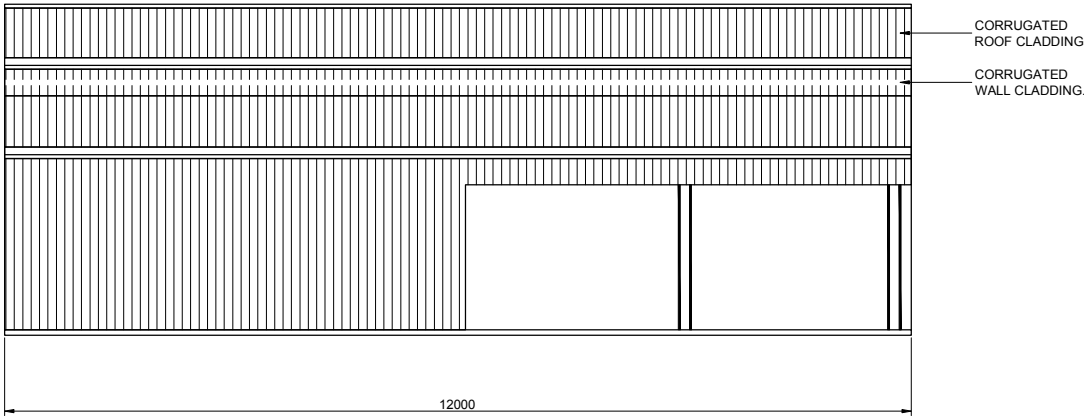




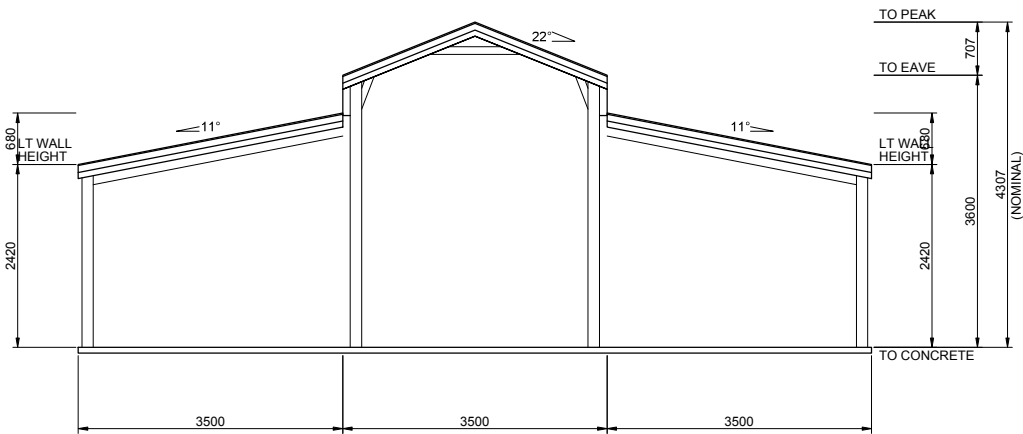
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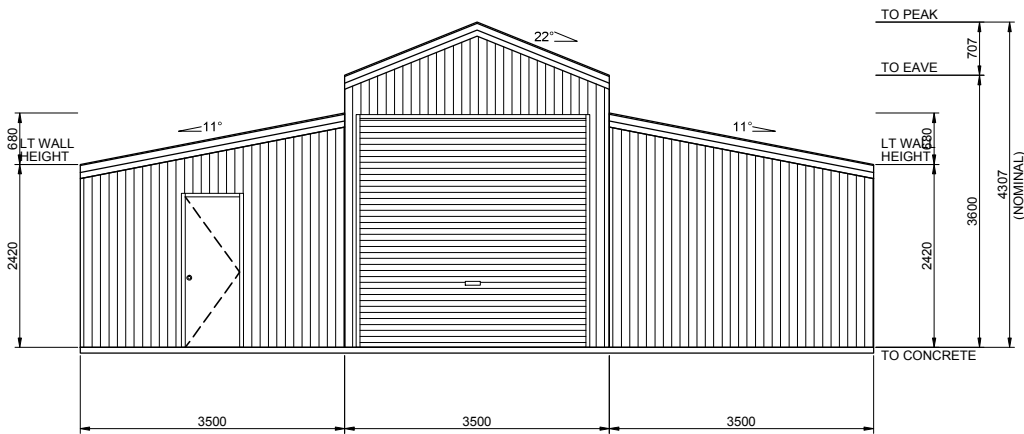
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7 SIDEWALL EXTERIOR ELEVATION  
SCALE: 1 = 100



2  
7 SIDEWALL EXTERIOR ELEVATION  
SCALE: 1 = 100



4  
7 ENDWALL EXTERIOR ELEVATION  
SCALE: 1 = 100



3  
7 ENDWALL EXTERIOR ELEVATION  
SCALE: 1 = 100

BUILDING COLOURS

WALL	SHALE GREY
ROOF	PALE EUCALYPT
ROLLER DOOR	PALE EUCALYPT
P.A. DOOR	SHALE GREY
DOWNPIPE	SHALE GREY
GUTTER	GULLY
CORNER FLASHING	SHALE GREY
BARGE FLASHING	GULLY
OPENING FLASHING	PALE EUCALYPT

7  
OF  
7

SHEET  
JOB NO.  
MAST37390  
DATE  
17/12/2024  
CHECKED  
FDS  
DRAWN  
FDS

STEEL BUILDING BY  
M.A. STEEL PTY. LTD. (LIC 225516C)  
FOR  
BLACKWOOD FOR EXTENDED SHOWGROUND MNGMT COM  
AT  
MURRINGO RD  
YOUNG

(CONTACT)

02 6382 4387



NORTHERN  
CONSULTING  
engineers

Civil & Structural Engineers  
50 Punari Street  
Currajong, Qld 4812  
Fax: 07 4725 5850  
Email: design@nceng.com.au  
ABN 341 008 173 56

Registered Chartered Professional Engineer  
Registered Professional Engineer (Civil & Structural) QLD  
Registered Certifying Engineer (Structural) N.T.  
Registered Engineer - (Civil) VIC  
Registered Engineer - (Civil) TAS

Regn. No. 2558980  
Regn. No. 9985  
Regn. No. 116373ES  
Regn. No. PE0002216  
Regn. No. CC5648M

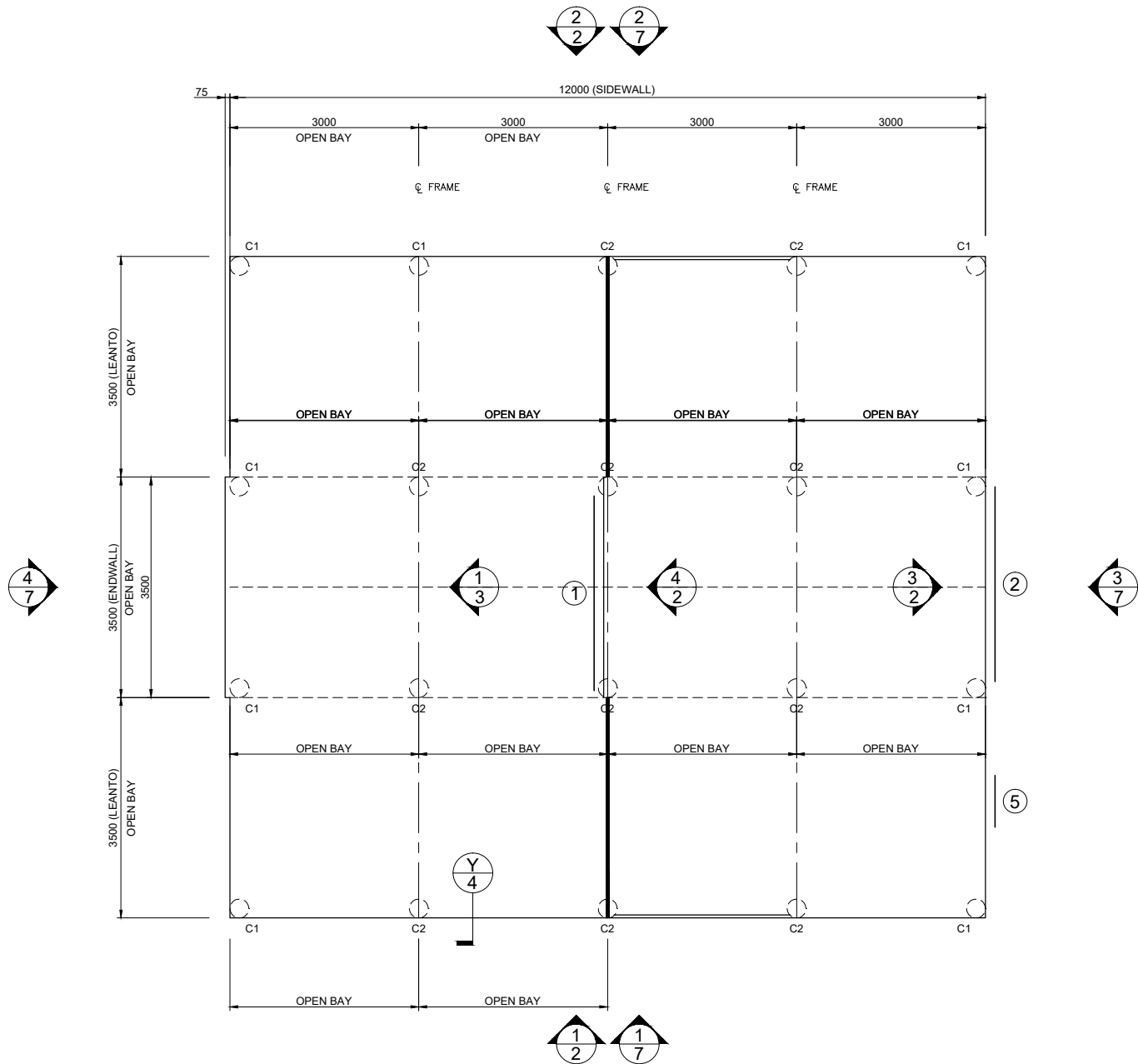
Mr Timothy Roy Messer BE MIEAust RPEQ

Signature *T. Messer*

Date 17/12/2024  
Registered on the NPER in the areas of practice  
of Civil & Structural National Professional  
Engineers Register

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IF IN DOUBT, ASK.



1 FOUNDATION PLAN AND MEMBER LAYOUT  
SCALE: 1 = 100

FOR INTERNAL WALLS USE MULLION SPECIFICATIONS  
SEE SHED DESIGNER LAYOUT SCREEN FOR INTERNAL OPENING POSITIONS  
REFER TO SCHEDULE OF OPENINGS ON SHEET 4 FOR FULL OPENING LIST  
DJ - INDICATES DOOR JAMBS AT THESE LOCATIONS. REFER TO SHEET #4 ON THE DOOR SCHEDULE FOR SIZES

MEMBER LEGEND

C1	C15012
C2	C15015

1  
OF  
7

SHEET

JOB NO.  
MAST37390

DATE  
17/12/2024

CHECKED  
FDS

DRAWN  
FDS

STEEL BUILDING BY  
**M.A. STEEL PTY. LTD. (LIC 225516C)**

FOR  
**RAY BLACKWOOD FOR EXTENDED SHOWGROUND MNGMT COM**

AT  
**MURRINGO RD  
YOUNG**

(CONTACT)  
02 6382 4387

**NORTHERN CONSULTING engineers**

Civil & Structural Engineers  
50 Punari Street  
Currajong, Qld 4812  
Fax: 07 4725 5850  
Email: design@nceng.com.au  
ABN 341 008 173 56

Registered Chartered Professional Engineer  
Registered Professional Engineer (Civil & Structural) QLD  
Registered Certifying Engineer (Structural) N.T.  
Registered Engineer - (Civil) VIC  
Registered Engineer - (Civil) TAS

Regn. No. 2558980  
Regn. No. 9985  
Regn. No. 116373ES  
Regn. No. PE0002216  
Regn. No. CC5648M

Mr Timothy Roy Messer BE MIEAust RPEQ

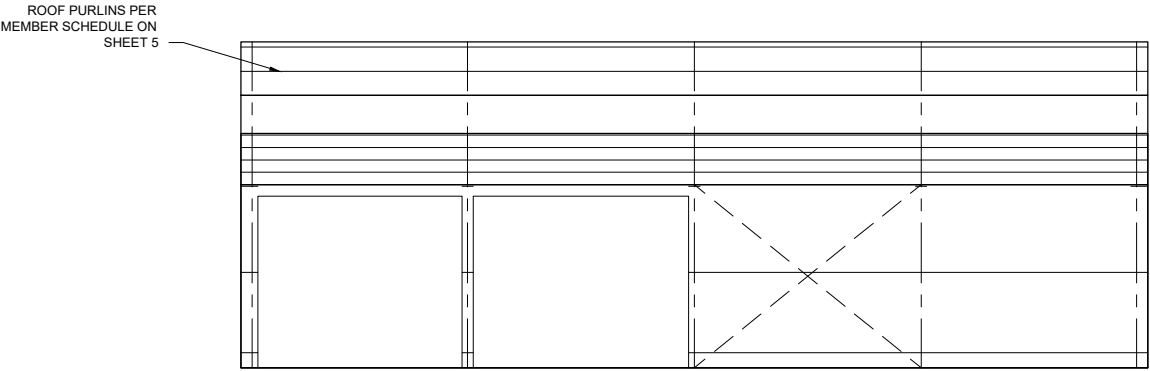
Signature

Date 17/12/2024

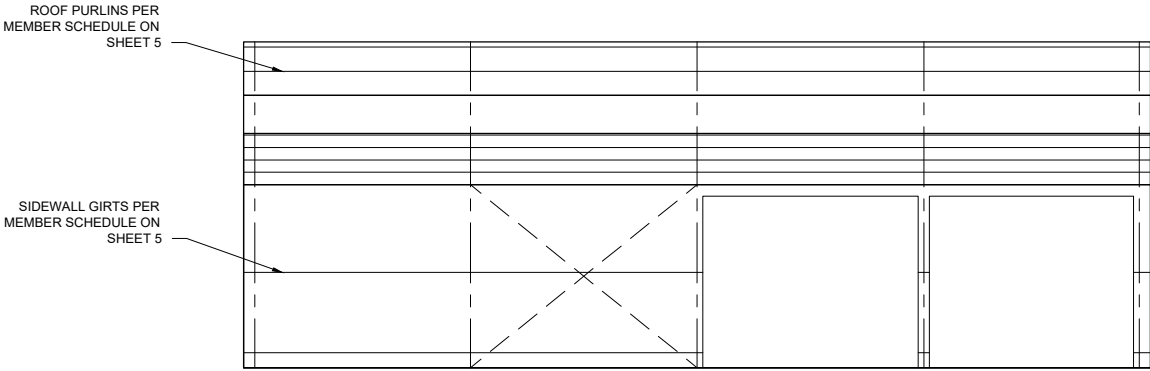
Registered on the NPER in the areas of practice  
of Civil & Structural National Professional  
Engineers Register

DO NOT SCALE THIS DRAWING. USE FIGURED DIMENSIONS ONLY. ALL DIMENSIONS TO BE VERIFIED ON SITE.

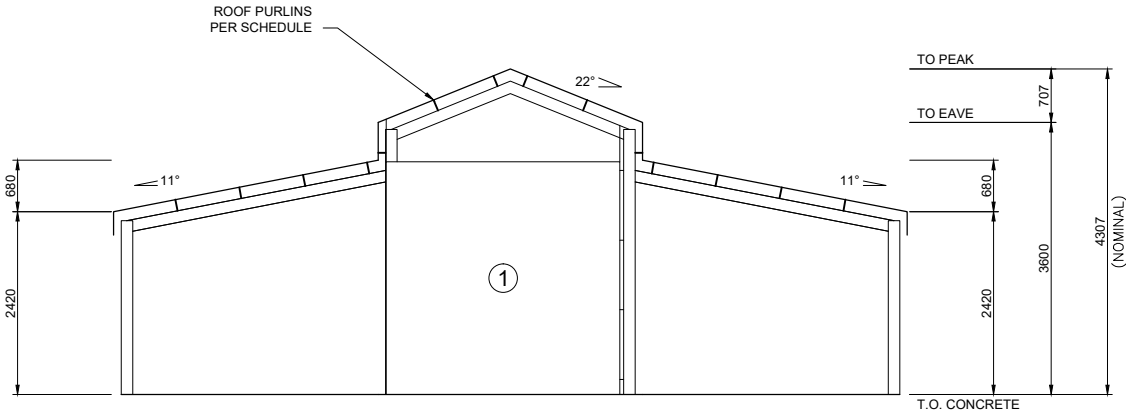
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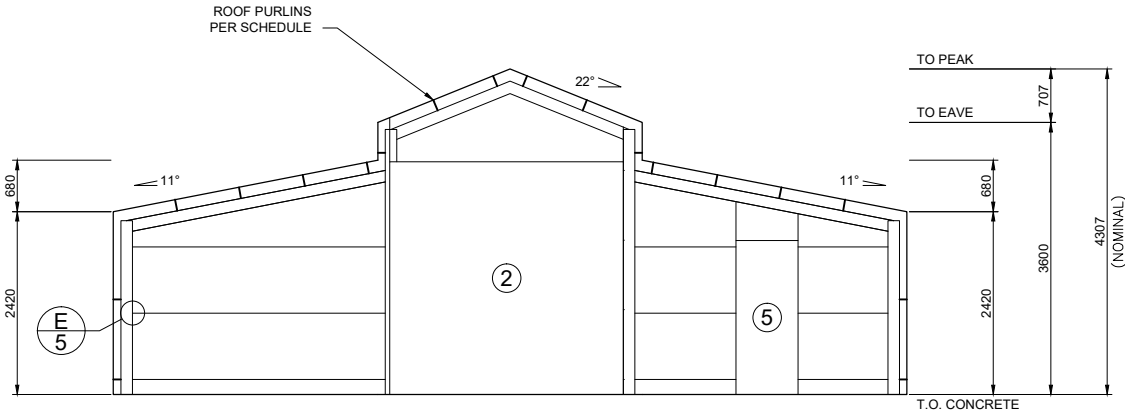
1  
2  
SIDEWALL EXTERIOR ELEVATION  
SCALE: 1 = 100



2  
2  
SIDEWALL EXTERIOR ELEVATION  
SCALE: 1 = 100



4  
2  
ENDWALL INTERIOR ELEVATION  
SCALE: 1 = 100

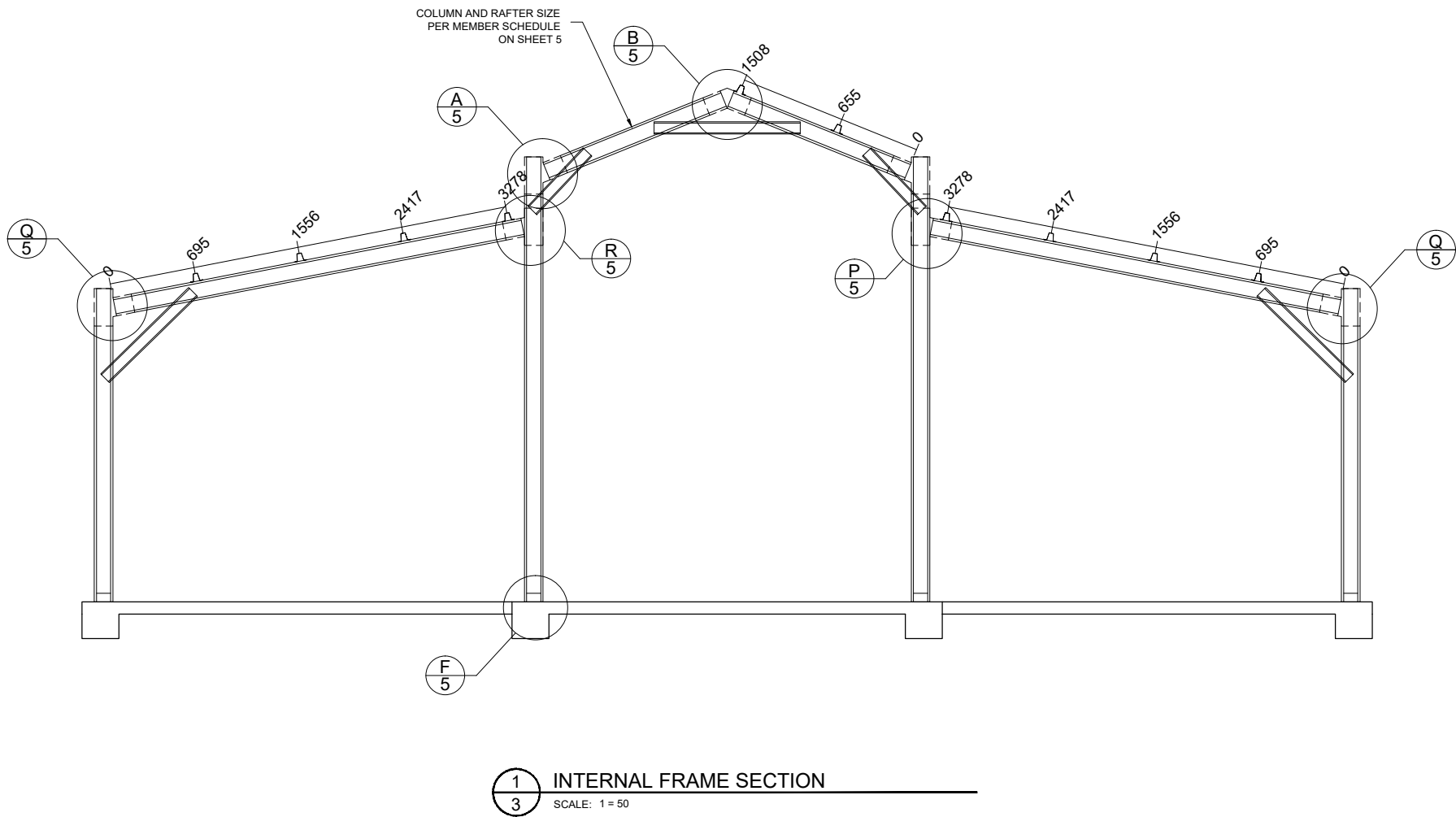


3  
2  
ENDWALL INTERIOR ELEVATION  
SCALE: 1 = 100

X BRACING IS REQUIRED IN 2 SIDE BAYS.  
SEE LAYOUT OR PLANS FOR PLACEMENT. FLY BRACING IS INCLUDED TO BE PLACED ON EVERY SECOND PURLIN AND GIRT ON ENDWALL MULLIONS, INTERNAL COLUMNS AND INTERNAL RAFTERS.

2 OF 7	SHEET	JOB NO. MAST37390	DATE 17/12/2024	CHECKED T.M.	DRAWN FDS	STEEL BUILDING BY	(CONTACT)	FOR	AT	RAY BLACKWOOD FOR EXTENDED SHOWGROUND MNGMT COM	MURRINGO RD YOUNG	SHED SAFE ACCREDITED	NORTHERN CONSULTING engineers	Civil & Structural Engineers 50 Punari Street Currajong, Qld 4812 Fax: 07 4725 5850 Email: design@nceng.com.au ABN 341 008 173 56	Registered Chartered Professional Engineer Registered Professional Engineer (Civil & Structural) QLD Registered Certifying Engineer (Structural) N.T. Registered Engineer - (Civil) VIC Registered Engineer - (Civil) TAS	Regn. No. 2558980 Regn. No. 9985 Regn. No. 116373ES Regn. No. PE0002216 Regn. No. CC5648M	Mr Timothy Roy Messer BE MIEAust RPEQ
						M.A. STEEL PTY. LTD. (LIC 225516C)	02 6382 4387										Signature

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Refer to Sheet #4 for concrete specification.

3 OF 7	SHEET	JOB NO. MAST37390	DATE 17/12/2024	CHECKED TM	DRAWN FDS	STEEL BUILDING BY <b>M.A. STEEL PTY. LTD. (LIC 225516C)</b>	(CONTACT)	FOR <b>RAY BLACKWOOD FOR EXTENDED SHOWGROUND MNGMT COM</b>	AT <b>MURRINGO RD YOUNG</b>			Civil & Structural Engineers 50 Punari Street Currajong, Qld 4812 Fax: 07 4725 5850 Email: design@nceng.com.au ABN 341 008 173 56	Mr Timothy Roy Messer BE MIEAust RPEQ
						02 6382 4387	Signature					Date ..... 17/12/2024	Registered on the NPER in the areas of practice of Civil & Structural National Professional Engineers Register
						Registered Chartered Professional Engineer Registered Professional Engineer (Civil & Structural) QLD Registered Certifying Engineer (Structural) N.T. Registered Engineer - (Civil) VIC Registered Engineer - (Civil) TAS		Regn. No. 2558980 Regn. No. 9985 Regn. No. 116373ES Regn. No. PE0002216 Regn. No. CC5648M					



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STRUCTURAL GENERAL NOTES

1. **GOVERNING CODE** : NATIONAL CONSTRUCTION CODE (NCC), LOADING TO AS1170 - ALL SECTIONS. BUILDING SUITABLE AS EITHER A PRIVATE GARAGE CLASS 10a, OR A FARM SHED (CLASS 7 OR 8), UNLESS OTHERWISE SPECIFICALLY NOTED. FOR USE AS A FARM SHED, IT MUST MEET THE FOLLOWING REQUIREMENTS:
- BE LESS THAN 2000 SQM IN AREA (INCLUSIVE OF ANY MEZZANINE FLOOR AREA).
  - MUST BE LOCATED ON A FARM AND USED IN CONNECTION WITH FARMING PURPOSES.
  - BUILDING IS NOT TO BE OCCUPIED FREQUENTLY NOR FOR EXTENDED PERIODS BY PEOPLE, WITH A MAXIMUM OF 1 PERSON PER 200 SQM OR 2 PERSONS MAXIMUM IN TOTAL WHICHEVER IS THE LESSER.
2. **DRAWING OWNERSHIP** : THESE DRAWINGS REMAIN THE PROPERTY OF FBHS (AUST) PTY LIMITED. ENGINEERING SIGNATURE AND CERTIFICATION IS ONLY VALID WHEN BUILDING IS SUPPLIED BY A DISTRIBUTOR OF FBHS. DRAWINGS ARE PROVIDED FOR THE DUAL PURPOSE OF OBTAINING BUILDING PERMITS AND AIDING CONSTRUCTION. ANY OTHER USE OR REPRODUCTION IS PROHIBITED WITHOUT WRITTEN APPROVAL FROM FBHS.
3. **DRAWING SIGNATURE REQUIREMENTS** : THESE DRAWINGS ARE NOT VALID UNLESS SIGNED BY THE ENGINEER. THE ENGINEER ACCEPTS NO LIABILITY OR RESPONSIBILITY FOR DRAWINGS WITHOUT A SIGNATURE. EACH TITLE BLOCK CONTAINS A WATER MARK UNDER THE CUSTOMERS NAME CONTAINING THE DATE OF PRODUCTION OF THE DRAWINGS; THE DRAWINGS ARE TO BE SUBMITTED TO COUNCIL WITHIN 21 DAYS OF THIS DATE. THIS IS TO ENSURE THAT ONLY CURRENT DRAWINGS ARE IN CIRCULATION.
4. **CONTRACTOR RESPONSIBILITIES** : CERTIFIER AND CONTRACTOR TO CONFIRM [ON SITE] THAT THE WIND LOADINGS APPLIED TO THIS DESIGN ARE TRUE AND CORRECT FOR THE ADDRESS STATED IN THE TITLE BLOCK. CONTRACTOR SHALL VERIFY AND CONFIRM ALL EXISTING CONDITIONS AND DIMENSIONS. ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN DRAWINGS AND EXISTING CONDITIONS PRIOR TO START OF WORK. CONTRACTOR MUST NOT MAKE ANY DEVIATION FROM THE PROVIDED PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM ONE THE UNDERSIGNING ENGINEERS. THE ENGINEER / FBHS TAKE NO RESPONSIBILITY FOR CHANGES MADE WITHOUT WRITTEN APPROVAL. CONTRACTOR IS RESPONSIBLE FOR ENSURING NO PART OF THE STRUCTURE BECOMES OVERSTRESSED DURING CONSTRUCTION. BUILDING IS NOT STRUCTURALLY ADEQUATE UNTIL THE INSTALLATION OF ALL COMPONENTS AND DETAILS SHOWN IS COMPLETED IN ACCORDANCE WITH THESE DRAWINGS. THE INDICATED DRAWING SCALES ARE APPROXIMATE. DO NOT SCALE DRAWINGS FOR CONSTRUCTION PURPOSES. FOR FURTHER DIRECTIONS ON CONSTRUCTION THE CONTRACTOR SHOULD CONSULT THE APPROPRIATE INSTRUCTION MANUAL.
5. **ENGINEERING** : THE ENGINEER / FBHS ARE NOT ACTING AS PROJECT MANAGERS FOR THIS DEVELOPMENT, AND WILL NOT BE PRESENT DURING CONSTRUCTION. THE UNDERSIGNING ENGINEERS HAVE REVIEWED THIS BUILDING FOR CONFORMITY ONLY TO THE STRUCTURAL DESIGN PORTIONS OF THE GOVERNING CODE. THE PROJECT MANAGER IS RESPONSIBLE FOR ADDRESSING ANY OTHER CODE REQUIREMENTS APPLICABLE TO THIS DEVELOPMENT. THESE DOCUMENTS ARE STAMPED ONLY AS TO THE COMPONENTS SUPPLIED BY FBHS. IT IS THE RESPONSIBILITY OF THE PURCHASER TO COORDINATE DRAWINGS PROVIDED BY FBHS WITH OTHER PLANS AND/OR OTHER COMPONENTS THAT ARE PART OF THE OVERALL PROJECT. IN CASES OF DISCREPANCIES, THE LATEST DRAWINGS PROVIDED BY FBHS SHALL GOVERN. NO ALTERATIONS TO THIS STRUCTURE (INCLUDING REMOVAL OF CLADDING) ARE TO BE UNDERTAKEN WITHOUT THE CONSENT OF THE CERTIFYING ENGINEER. OPENINGS SUCH AS WINDOWS AND DOORS NEED TO BE INSTALLED AS PER THE PRODUCT MANUFACTURER'S INFORMATION/DETAILS. THE BUILDING IS DESIGNED AS A STAND-ALONE BUILDING, NOT RELYING ON ANY ADJACENT BUILDING. IF THE PERMANENT OPENING IS OBSTRUCTED BY ANY ADJACENT BUILDING AND WITHIN A DISTANCE OF 0.5M OF SAID OPENING, THE DESIGN SHOULD BE REFERRED TO THE DESIGN ENGINEER FOR REVIEW OF INTERNAL PRESSURES AND POSSIBLE REDESIGN.
6. **INSPECTIONS** : NO SPECIAL INSPECTIONS ARE REQUIRED BY THE GOVERNING CODE ON THIS JOB. ANY OTHER INSPECTIONS REQUESTED BY THE LOCAL BUILDING DEPARTMENT SHALL BE CONDUCTED AT THE OWNER'S EXPENSE.
7. **SOIL REQUIREMENTS** : SITE CLASSIFICATION TO BE A, S OR M ONLY. SOIL SAFE BEARING CAPACITY VALUE INDICATED ON DRAWING SHEET 4 OCCURS AT 100mm BELOW FINISH GRADE, EXISTING NATURAL GRADE, OR AT FROST DEPTH SPECIFIED BY LOCAL BUILDING DEPARTMENT, WHICHEVER IS THE LOWEST ELEVATION. REGARDLESS OF DETAIL Y ON SHEET 4 THE MINIMUM FOUNDATION DEPTH SHOULD BE 100MM INTO NATURAL GROUND OR BELOW FROST DEPTH SPECIFIED BY LOCAL COUNCIL. ROLLED OR COMPACTED FILL MAY BE USED UNDER SLAB, COMPACTED IN 150mm LAYERS TO A MAXIMUM DEPTH OF 900mm. CONCRETE FOUNDATION EMBEDMENT DEPTHS DO NOT APPLY TO LOCATIONS WHERE ANY UNCOMPACTED FILL OR DISTURBED GROUND EXISTS OR WHERE WALLS OF THE EXCAVATION WILL NOT STAND WITHOUT SUPPLEMENTAL SUPPORT. IN THIS CASE SEEK FURTHER ENGINEERING ADVICE.
8. **CLASS 10a or Class 7 FOOTING DESIGNS** : THE FOUNDATION DOCUMENTED IS ALSO APPROPRIATE FOR CLASS 10a or CLASS 7 BUILDING DESIGNS ON 'M-D', 'H', 'H-D' OR 'E' CLASS SOILS, IF TOTAL SLAB AREA IS UNDER 100m SQUARE AND THE MAXIMUM SLAB DIMENSION (LENGTH AND WIDTH) IS LESS THAN OR EQUAL TO 12m. PLEASE BE AWARE THAT THE SLAB DESIGN FOR H & E CLASS SOILS IN THESE INSTANCES ARE DESIGNED TO EXPERIENCE SOME CRACKING. THIS CRACKING IS NOT CONSIDERED A STRUCTURAL FLAW OR DESIGN ISSUE, AND IS SIMPLY COSMETIC IN NATURE. IF THIS IS A CONCERN TO THE CLIENT IT IS ADVISED THEY DISCUSS OTHER OPTIONS WITH THE RELEVANT DISTRIBUTOR PRIOR TO THE POURING OF THE SLAB.
9. **CONCRETE REQUIREMENTS** : ALL CONCRETE DETAILS AND PLACEMENT SHALL BE PERFORMED IN ACCORDANCE WITH AS2870 AND AS3600. CONCRETE SHALL HAVE A MIN. 28-DAY STRENGTH OF 20MPa FOR EXPOSURE A1, 25MPa FOR EXPOSURE A2, 32MPa FOR EXPOSURE B1, 40MPa FOR EXPOSURE B2 AND 50MPa FOR EXPOSURE C, IN ACCORDANCE WITH SECTION 4, AS3600. CEMENT TO BE TYPE A. MAX AGGREGATE SIZE OF 20mm. SLUMP TO BE 80mm +/-15mm. SLABS TO BE CURED FOR 7 DAYS BY WATERING OR COVERING WITH A PLASTIC MEMBRANE, AFTER WHICH CONSTRUCTION CAN BEGIN, DUE CARE GIVEN NOT TO OVER-TIGHTEN HOLD DOWN BOLTS. GIVEN ALLOWABLE SOIL TYPES 1 LAYER OF SL7/2 REINFORCING MESH IS TO BE INSTALLED ON STANDARD SLABS WITH A MINIMUM 30MM COVER FROM CONCRETE SURFACE. CONCRETE REINFORCING TO CONFORM TO AS 1302, AS1303 & AS 1304. ALL REINFORCING COVER TO BE A MINIMUM OF 30mm.
10. **STRUCTURAL STEEL REQUIREMENTS** : ALL STRUCTURAL STEEL, INCLUDING SHEETING THOUGH EXCLUDING CONCRETE REINFORCING, SHALL CONFORM TO AS 1397 (GAUGE <= 1mm fy = 550MPa, GAUGE > 1mm < 1.5mm fy = 500MPa, GAUGE >= 1.5mm fy = 450MPa). NO WELDING IS TO BE PERFORMED ON THIS BUILDING. ALL STRUCTURAL MEMBERS AND CONNECTIONS DESIGNED TO AS4600. ALL BOLT HOLE DIAMETERS TO STRMIT GENERAL PUNCHINGS.
11. **FOOT TRAFFIC** : FOR ERECTION AND MAINTENANCE PLEASE NOTE THE FOLLOWING DEFINED FOOT TRAFFIC ZONES:
- CORRUGATED: WALK ONLY WITHIN 200MM OF SCREW LINES. FEET SPREAD OVER AT LEAST TWO RIBS.
  - MONOCLAD: WALK ONLY IN PANS, OR ON RIBS AT SCREW LINES.

PROJECT DESIGN CRITERIA

ROOF LIVE LOAD: 0.29 kPa  
BASIC WIND SPEED: VR 45 m/s  
SITE WIND SPEED: V<sub>sitB</sub> 37.3 m/s  
WIND REGION: Reg A0  
TOPOGRAPHY FACTOR, Mt: 1  
SHIELDING FACTOR, Ms: 0.91  
MAX GROUND SNOW LOAD: N/A  
MAX ROOF SNOW LOAD: N/A  
SITE ALTITUDE: N/A  
TERRAIN CATEGORY: TCat 2  
SOIL SAFE BEARING CAPACITY: 100 kPa  
RETURN PERIOD: 1:500  
LIMITING CPI 1: -0.3  
LIMITING CPI 2: 0.3  
IMPORTANCE LEVEL: 2

DETAIL KEYS

- DK1 ENDWALL VERTICAL MULLION (SEE DETAIL C/5 FOR TOP CONN. AND F/5 FOR BASE CONN.)  
DK2 FLYBRACING PER DETAIL L/5  
DK3 X-BRACING IN ROOF ABOVE (SEE DETAIL M/5)  
DK4 DOUBLE X-BRACING IN ROOF ABOVE (SEE DETAIL M/5)

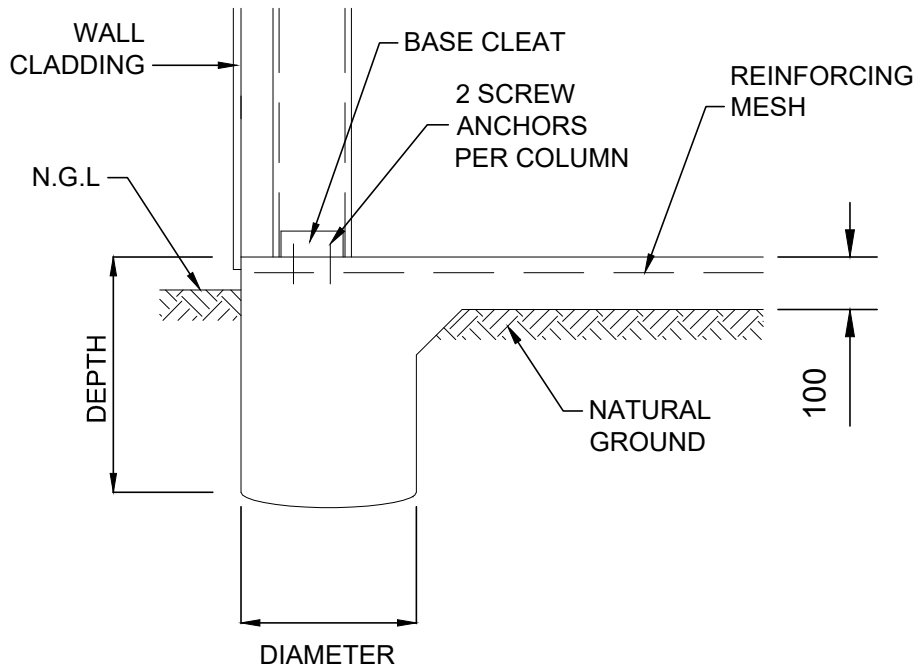
SCHEDULE OF OPENINGS

DOOR	OPENING WIDTH	SIZE MAX HEIGHT	OPENING TYPE	HEADER GIRT	OPENING JAMBS	WIND RATED
①	3090	3080*	3.10H X 3.15 CB "SERIES A #	SINGLE	C15024P	NO
②	3090	3080*	3.10H X 3.15 CB "SERIES A #	SINGLE	C15024P	NO
③	2710	2200*	2.20H X 2.77 CB "SERIES A #	SINGLE	C15012P	NO
④	2710	2200*	2.20H X 2.77 CB "SERIES A #	SINGLE	C15012P	NO
⑤	820	2040	EXTERNAL PA DOOR 180 DEG	SINGLE		YES

NOTES: 1) SEE SHEET 5 FOR DOOR OPENING FRAMING INFORMATION.  
2) ALL DOOR SCHEDULE MEASUREMENTS ARE ACTUAL DOOR/WINDOW SIZE NOT OPENING SIZE.

\* ROLLER DOOR OPENING HEIGHT DEPENDENT ON FINAL BUILD LOCATION.

DOOR WARNINGS:  
END ROLLER DOOR IN BAY 1 OF LEFT WALL MAY BE TOO BIG TO FIT IN BAY.  
END ROLLER DOOR IN BAY 1 OF LEFT WALL MAY BE TOO BIG FOR JAMBS. PLEASE CHECK JAMBS BEFORE ORDERING.  
END ROLLER DOOR IN BAY 1 OF RIGHT WALL MAY BE TOO BIG TO FIT IN BAY.  
END ROLLER DOOR IN BAY 1 OF RIGHT WALL MAY BE TOO BIG FOR JAMBS. PLEASE CHECK JAMBS BEFORE ORDERING.



300 x 300

Diameter x Depth (mm)

N.G.L. - NATURAL GROUND LINE

Y

BORED LOCAL THICKENING DETAIL

DWG NO.

SBOMA

OF

4

7

SHEET

JOB NO. MAST37390

NCC 2022

DATE 17/12/2024

CHECKED TM

DRAWN FDS

STEEL BUILDING BY

(CONTACT)

M.A. STEEL PTY. LTD. (LIC 225516C)

02 6382 4387

FOR

AT

RAY BLACKWOOD FOR EXTENDED SHOWGROUND MNGMT COM

MURRINGO RD  
YOUNG



Civil & Structural Engineers  
50 Punari Street  
Currajong, Qld 4812  
Fax: 07 4725 5850  
Email: design@nceng.com.au  
ABN 341 008 173 56

Registered Chartered Professional Engineer  
Registered Professional Engineer (Civil & Structural) QLD  
Registered Certifying Engineer (Structural) N.T.  
Registered Engineer - (Civil) VIC  
Registered Engineer - (Civil) TAS

Regn. No. 2558980  
Regn. No. 9985  
Regn. No. 116373ES  
Regn. No. PE0002216  
Regn. No. CC5648M

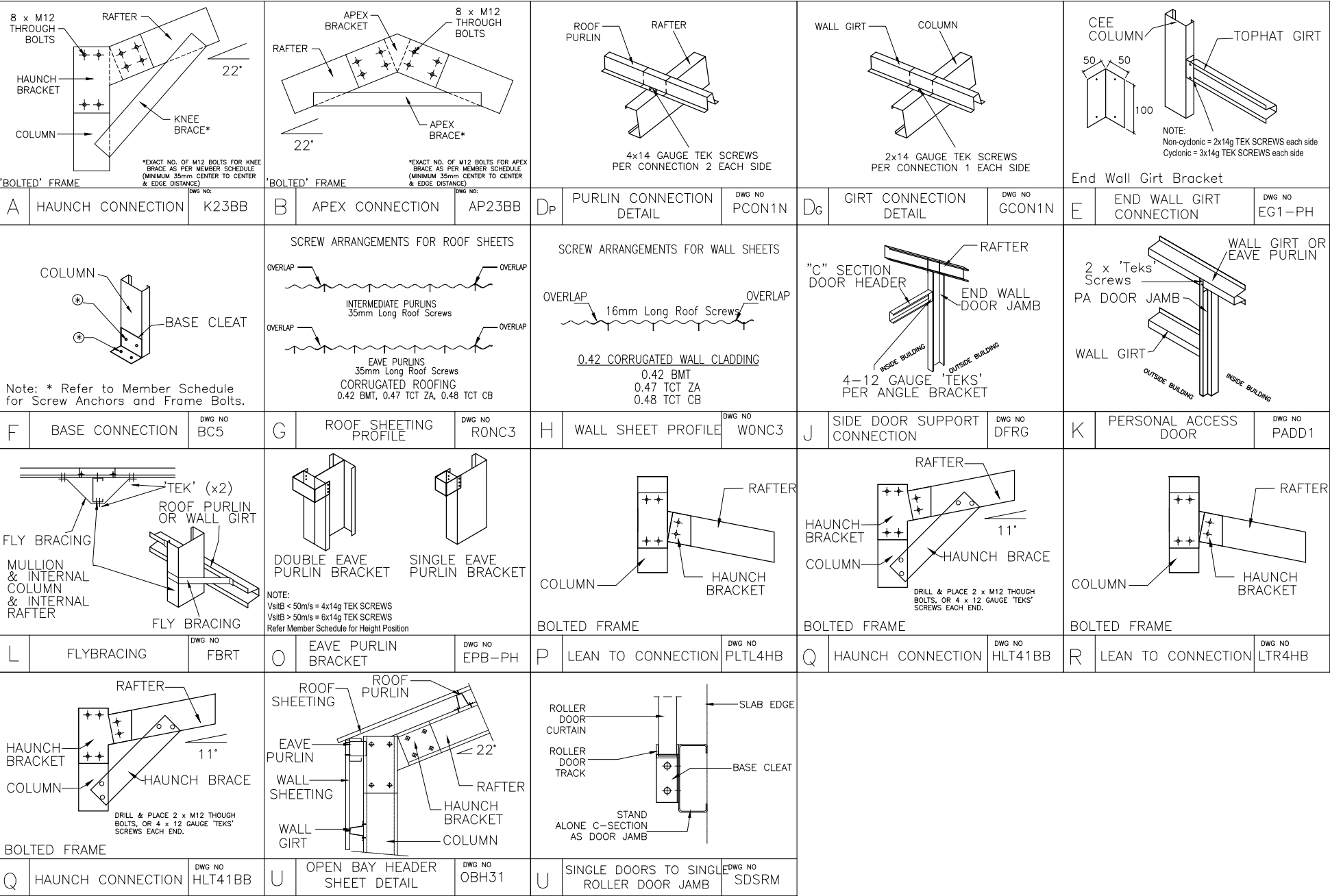
Mr Timothy Roy Messer BE MIEAust RPEQ

Signature *T. Messer*

Date 17/12/2024

Registered on the NPER in the areas of practice  
of Civil & Structural National Professional  
Engineers Register

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MEMBER AND MATERIAL SCHEDULE

1	END WALL RAFTER	Single C15012
2	C.S. FRAME RAFTER	Single C15012
3	END FRAME OPEN BAY COLUMN (C1)	Single C15012
4	END FRAME OPEN CORNER COLUMN (C1)	Single C15012
5	C.S. FRAME OPEN BAY COLUMN (C2)	Single C15015
6	LL END FRAME COLUMN (C1)	Single C15012
7	LL END FRAME OPEN CORNER COLUMN (C1)	Single C15012
8	LL COLUMN (C2)	Single C15015
9	LL OPEN BAY COLUMN (C1)	Single C15012
10	RL END FRAME COLUMN (C1)	Single C15012
11	RL END FRAME OPEN CORNER COLUMN (C1)	Single C15012
12	RL OPEN BAY COLUMN (C2)	Single C15015
13	RL OPEN BAY COLUMN (C2)	Single C15015
14	C.S. FRAME KNEE BRACE	Single C10010 @ 0.85 LONG 2 bolts each end
15	KNEE BRACE HEIGHT UP COLUMN	3.15m
16	KNEE BRACE LENGTH UP RAFTER	0.45m
17	C.S. FRAME APEX BRACE	Single C10010 @ 1.19 LONG 2 bolts each end
18	APEX POSITION FROM RAFTER END	0.60m
19	END WALL LL RAFTER	Single C15012
20	C.S. LL RAFTER	Single C15012
21	C.S. LL KNEE BRACE	Single C10010 @ 0.70 LONG 2 bolts each end
22	LL KNEE BRACE HEIGHT UP COLUMN	2.06m
23	LL KNEE BRACE LENGTH UP RAFTER	0.44m
24	END WALL RL RAFTER	Single C15012
25	C.S. RL RAFTER	Single C15012
26	C.S. RL KNEE BRACE	Single C10010 @ 0.70 LONG 2 bolts each end
27	RL KNEE BRACE HEIGHT UP COLUMN	2.06m
28	RL KNEE BRACE LENGTH UP RAFTER	0.44m
29	ANCHOR BOLTS (# PER DETS.)	Screw Anchor 12mm x 100 Galv
30	EAVE PURLIN	C10010 (Eave Purlin Bracket 31mm down from top of column)
31	LEFT LEANTO EAVE PURLIN	C10010 (Eave Purlin Bracket 21mm down from top of column)
32	RIGHT LEANTO EAVE PURLIN	C10010 (Eave Purlin Bracket 21mm down from top of column)
33	TYP. ROOF PURLIN SIZE	Tophat 64 x 0.75
34	MAIN BLDG. PURLIN SPACING	0.853 m. (2 rows) (Max Allow. 0.919m)
35	MAIN BLDG. PURLIN LENGTH	3.1 m. (0.1m Overlap)
36	LEFT LEANTO PURLIN SPACING	0.861 m. (4 rows) (Max Allow. 0.919m)
37	RIGHT LEANTO PURLIN SPACING	0.861 m. (4 rows) (Max Allow. 0.919m)
38	TYP. SIDEWALL GIRT SIZE	Tophat 64 x 0.75
39	MAIN BLDG. SIDEWALL GIRT SPACING	1.099 m. (3 rows) (Max Allow. 1.299m)
40	MAIN BLDG. SIDEWALL GIRT LENGTH	3.1 m. (0.1m Overlap)
41	LEFT LEANTO SIDEWALL GIRT SPACING	1.059 m. (2 rows) (Max Allow. 1.299m)
42	RIGHT LEANTO SIDEWALL GIRT SPACING	1.059 m. (2 rows) (Max Allow. 1.299m)
43	TYP. ENDWALL GIRT SIZE	Tophat 64 x 0.75
44	MAIN BLDG. ENDWALL GIRT SPACING	0.922 m. (4 rows) (Max Allow. 1.190m)
45	BAY DIVIDER GIRT SPACING	0.922 m. (4 rows) (Max Allow. 1.190m)
46	MAIN BLDG. ENDWALL GIRT LENGTH	3.07 m. (0m Overlap)
47	LEFT LEANTO ENDWALL GIRT SPACING	0.877 m. (3 rows) (Max Allow. 1.190m)
48	RIGHT LEANTO ENDWALL GIRT SPACING	0.877 m. (3 rows) (Max Allow. 1.190m)
49	FRAME SCREW FASTENERS	14-13x22 Hex C/S (SP HD 5/16" Hex Drive)
50	FRAME BOLT FASTENERS	Purlin Assy M12x30 Z/P
51	X-BRACING STRAP AND FASTENERS	32 x 1.2mm Strap with 4 x 14g Tek Screws Each End
52	WALL COLOUR	SHALE_GREY
53	ROOF COLOUR	PALE_EUCALYPT
54	ROLLER DOOR COLOUR	PALE_EUCALYPT
55	P.A. DOOR COLOUR	SHALE_GREY
56	DOWNPIPE COLOUR	SHALE_GREY
57	GUTTER COLOUR	GULLY
58	CORNER FLASHING COLOUR	SHALE_GREY
59	BARGE FLASHING COLOUR	GULLY
60	OPENING FLASHING COLOUR	PALE_EUCALYPT
61	OPEN BAY HEADER HEIGHT	0.5

"C.S." = CLEARSPAN "L." = LEFT "R." = RIGHT

5  
OF  
7

SHEET  
JOB NO.  
MAST37390  
DATE  
17/12/2024  
CHECKED  
FDS  
DRAWN  
FDS

STEEL BUILDING BY  
FOR  
AT

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RAY BLACKWOOD FOR EXTENDED SHOWGROUND MNGMT COM

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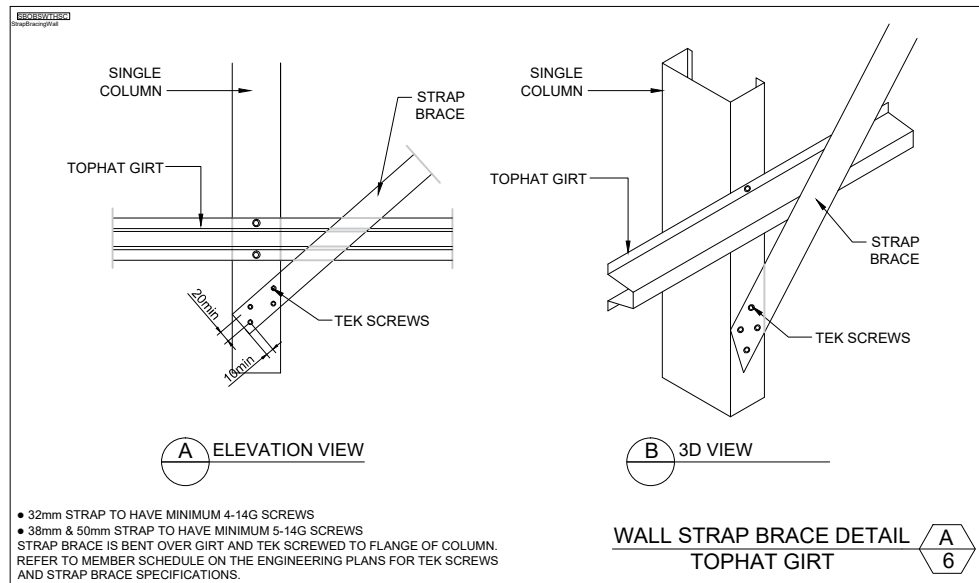
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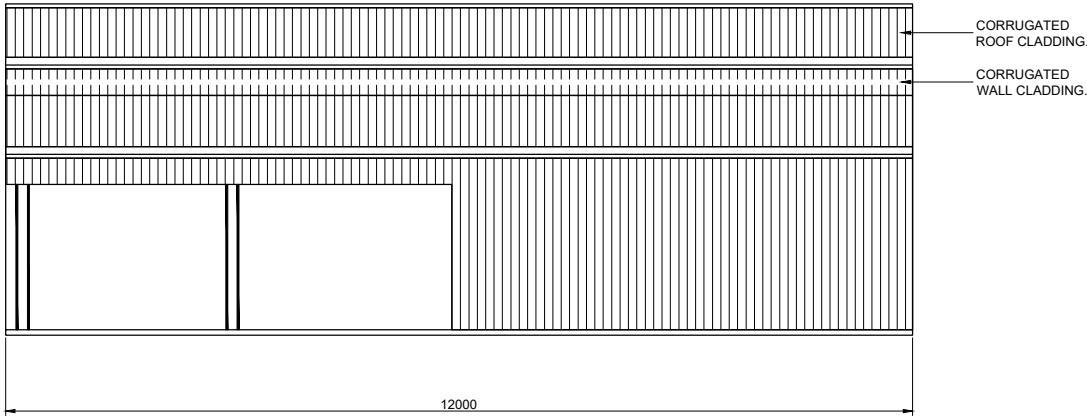
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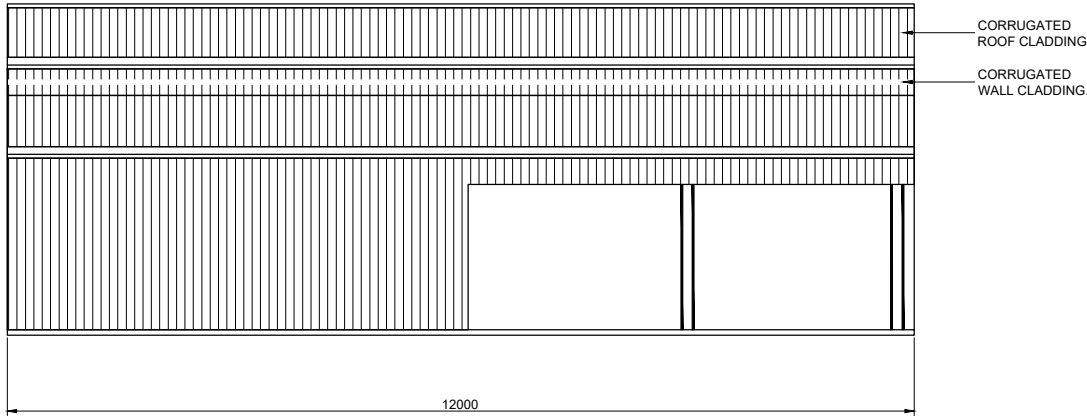
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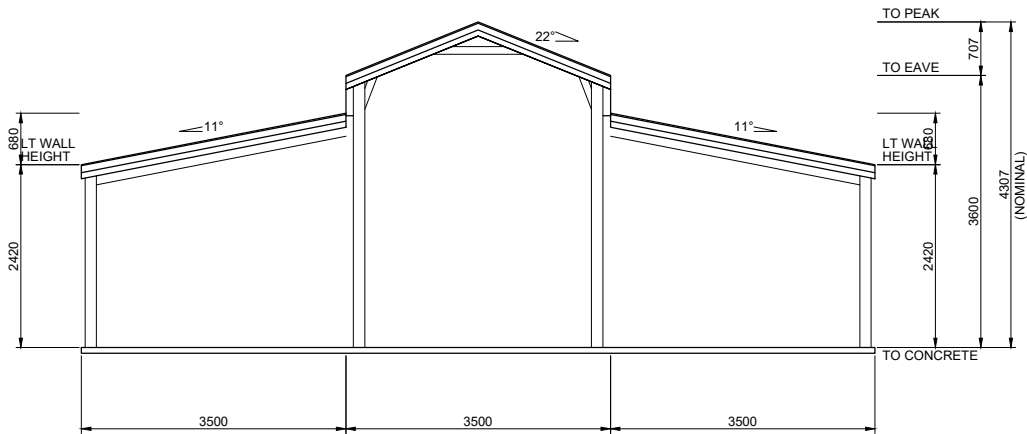
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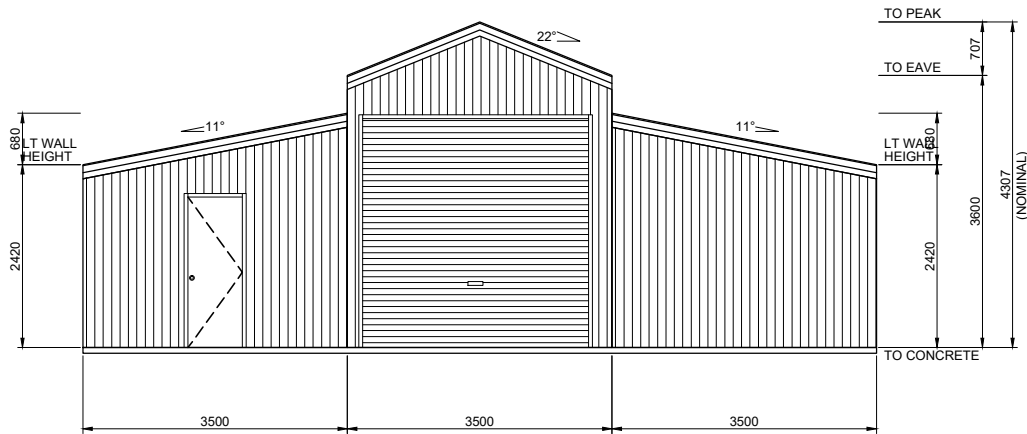
1  
7 SIDEWALL EXTERIOR ELEVATION  
SCALE: 1 = 100



2  
7 SIDEWALL EXTERIOR ELEVATION  
SCALE: 1 = 100



4  
7 ENDWALL EXTERIOR ELEVATION  
SCALE: 1 = 100



3  
7 ENDWALL EXTERIOR ELEVATION  
SCALE: 1 = 100

BUILDING COLOURS

WALL	SHALE GREY
ROOF	PALE EUCALYPT
ROLLER DOOR	PALE EUCALYPT
P.A. DOOR	SHALE GREY
DOWNPIPE	SHALE GREY
GUTTER	GULLY
CORNER FLASHING	SHALE GREY
BARGE FLASHING	GULLY
OPENING FLASHING	PALE EUCALYPT

7  
OF  
7

SHEET

JOB NO.  
MAST37390

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STEEL BUILDING BY  
M.A. STEEL PTY. LTD. (LIC 225516C)

FOR  
BLACKWOOD FOR EXTENDED SHOWGROUND MNGMT COM

AT  
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SHED SAFE  
accidental




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NOTES:

**BRACING MATERIALS** - THE SHED ERECTOR TO SUPPLY SPECIFIC BRACING.  
SUITABLE RIGID MEMBERS CAPABLE OF TENSION AND COMPRESSION OR OPPOSING CHAINS OR OPPOSING LOAD RATED RATCHET STRAPS TO BE USED. (RIGID BRACING AS SHOWN ON DIAGRAM) ROPE BRACING SUITABLE ONLY FOR SMALLER STRUCTURES IN IDEAL CONDITIONS.

**BRACING LOCATION** - TEMPORARY BRACING TO BE ERECTED AS CLOSE TO 45 DEGREE ANGLE AND FIXED TO THE TOP OF THE COLUMN OR MULLION TO ACHIEVE THE OPTIMUM EFFECTIVENESS. IF THERE IS NOT ENOUGH SPACE FOR A 45 DEGREE ANGLE, THEN 20 DEGREE ANGLE IS TO BE THE MINIMUM ANGLE ALLOWED (REFER TO DIAGRAM). RIGID TEMPORARY BRACING MEMBER TO BE BOLTED TO HEAVY ANGLE PEGS HAMMERED INTO THE GROUND OR TO A BRACKET, MASONRY ANCHORED TO THE SLAB.

**BRACING REMOVAL** - TEMPORARY BRACING TO REMAIN IN PLACE UNTIL CLADDING IS FULLY INSTALLED WHERE POSSIBLE. IN NO CASE SHOULD TEMPORARY BRACING BE REMOVED UNTIL ALL PURLINS, GIRTS (AND PERMANENT CROSS BRACING WHERE USED) ARE FIXED.

**SITE SAFETY** - DUE CONSIDERATION TO BE GIVEN TO SITE SAFETY IN REGARD TO LOCATIONS OF BRACING AND PEGS.

**GUIDE APPLICATION** - TEMPORARY BRACING AS DESCRIBED IS A MINIMUM REQUIREMENT FOR AN AVERAGE, STANDARD SITE CONDITION. PROVIDE ADDITIONAL BRACING FOR MORE SEVERE AND/OR HIGH EXPOSURE SITE CONDITIONS. ADDITIONAL BRACING TO BE USED AS AND WHERE NECESSARY TO ENSURE THAT ENTIRE FRAME IS RIGID THROUGHOUT CONSTRUCTION. RESPONSIBILITY FOR ENSURING STABILITY OF STRUCTURE REMAINS WITH THE BUILDER.

**TILT UP METHOD**  
FOR STRUCTURES UNDER 9M SPAN, LESS THAN 3M HIGH AND LESS THAN 12M LONG

- ASSEMBLE THE FIRST SIDEWALL FRAME (COMPLETE WITH WALL SHEETING, BRACING AND GUTTER) ON THE GROUND AND LIFT ASSEMBLED SIDEWALL FRAME INTO POSITION. FIX OFF TEMPORARY SIDE BRACING TO EACH END (REFER TO DIAGRAM). FIX BASE CLEATS.
- ASSEMBLE THE SECOND SIDEWALL FRAME AS PER FIRST SIDEWALL FRAME. LIFT INTO POSITION. FIX OFF TEMPORARY WALL BRACING TO EACH END (REFER TO DIAGRAM) FIX BASE CLEATS.
- FIX GABLE END RAFTERS TO COLUMNS TO TIE WALLS. PROP APEX UNTIL ENDWALL MULLION AND APEX TEMPORARY BRACE ARE FIXED OFF. IF NO MULLION IS REQUIRED THEN PROP AND BRACE APEX UNTIL CLADDING IS COMPLETE.
- INSTALL REMAINING RAFTERS. AS EACH RAFTER PAIR IS INSTALLED, AT LEAST ONE PURLIN PER 3M OF RAFTER LENGTH IS TO BE INSTALLED TO SECURE RAFTERS.
- INSTALL REMAINING PURLINS
- INSTALL KNEE AND APEX BRACES IF AND WHERE APPLICABLE.
- REPEAT FOR LEANTO'S.

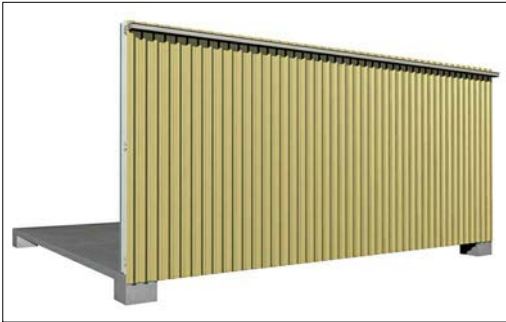
**FRAME FIRST METHOD**  
FOR STRUCTURES OVER 9M SPAN, GREATER THAN 3M HIGH AND GREATER THAN 12M LONG

- ASSEMBLE PORTAL FRAMES ON THE GROUND (WITH KNEE AND APEX BRACES IF AND WHERE APPLICABLE). LIFT THE FIRST PORTAL FRAME ASSEMBLY INTO POSITION. FIX OFF TEMPORARY END BRACING (REFER TO DIAGRAM). FIX BASE CLEATS.
- PROP APEX UNTIL ENDWALL MULLION AND APEX TEMPORARY BRACE ARE FIXED OFF. IF NO MULLION IS REQUIRED THEN PROP AND BRACE APEX UNTIL CLADDING IS COMPLETE.
- THE SECOND PORTAL FRAME ASSEMBLY TO BE LIFTED INTO POSITION. FIX EAVE PURLINS AND AT LEAST ONE PURLIN PER 3M OF RAFTER TO SECURE FRAME ASSEMBLY. FIX BASE CLEATS. FIX TEMPORARY SIDEWALL BRACING.
- STAND REMAINING PORTAL FRAME ASSEMBLY AS PER STEP C, FIXING TEMPORARY SIDE WALL BRACING TO EVERY SECOND BAY. BRACE OTHER END PORTAL FRAME AS PER FIRST PORTAL FRAME.
- INSTALL REMAINING PURLINS AND GIRTS.
- REPEAT FOR LEANTO'S.

NOT PART OF COUNCIL APPLICATION DOCUMENTATION

## GUIDE TO THE INSTALLATION OF TEMPORARY BRACING

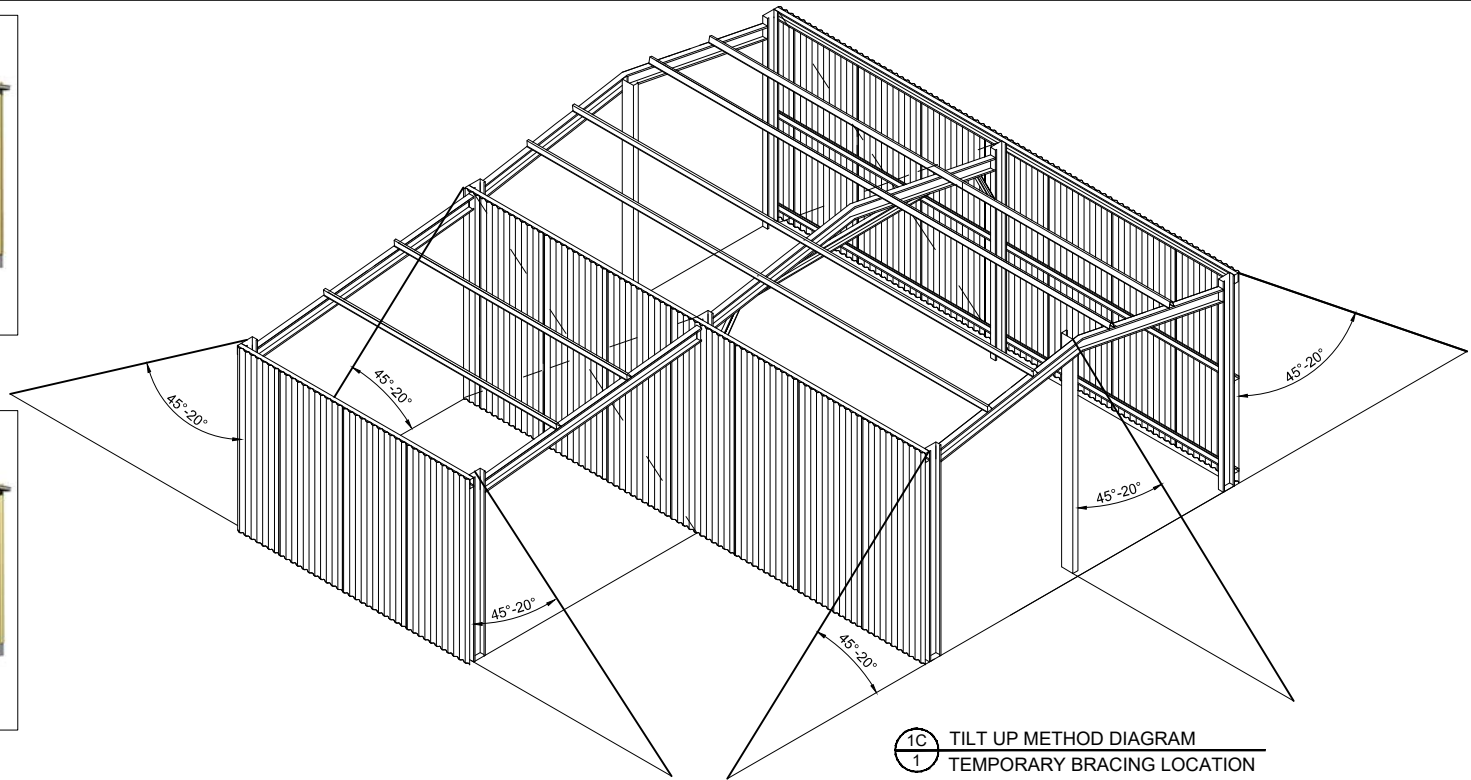
(REFER TO INSTALLATION GUIDE MANUAL FOR THE TWO METHODS OF CONSTRUCTION)



1A FIRST SIDEWALL FRAME  
1 REFER 1C FOR TEMPORARY BRACING LOCATION



1B SECOND SIDEWALL FRAME  
1 REFER 1C FOR TEMPORARY BRACING LOCATION



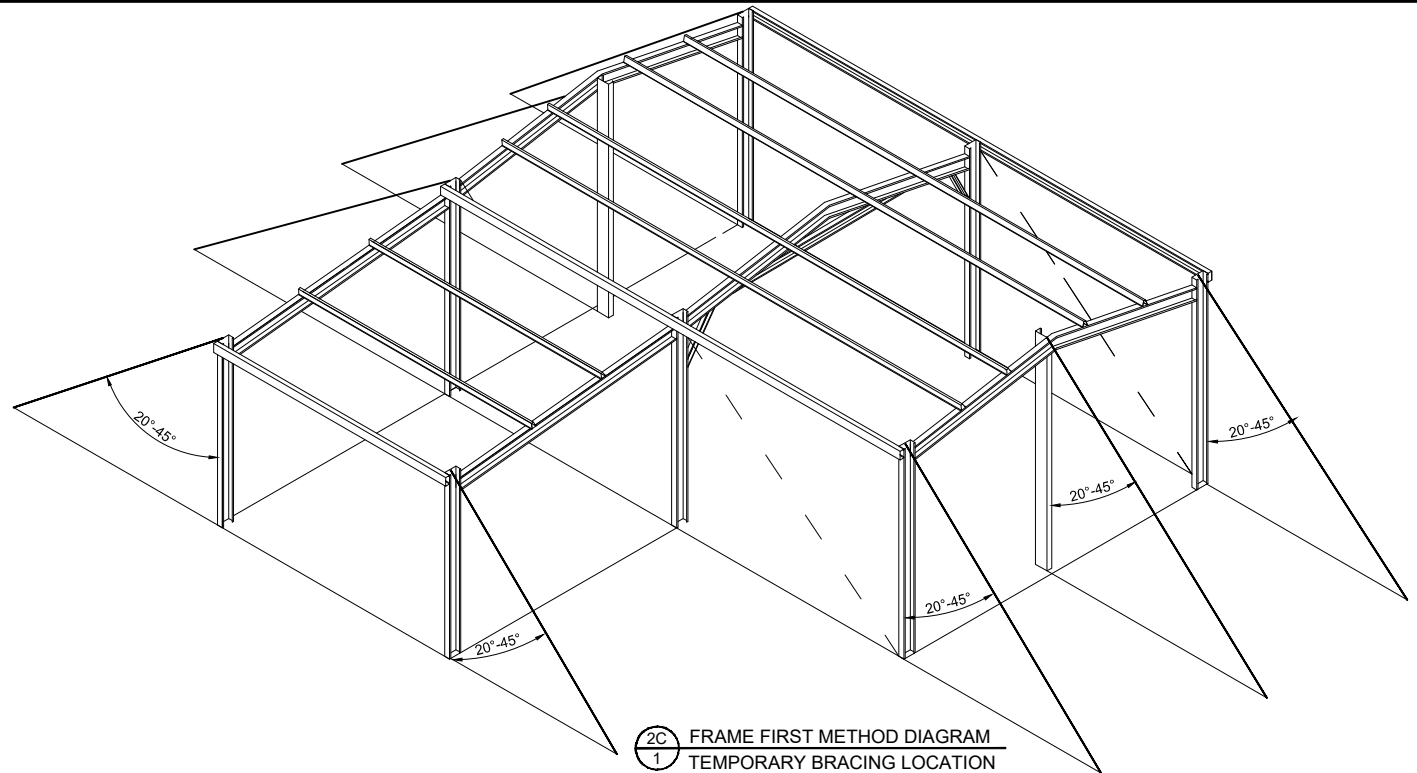
1 TILT UP METHOD DIAGRAM  
1 SCALE: NTS



2A FIRST & SECOND PORTAL FRAME ASSEMBLY  
1 REFER 2C FOR TEMPORARY BRACING LOCATION



2B COMPLETE PORTAL FRAME ASSEMBLY  
1 REFER 2C FOR TEMPORARY BRACING LOCATION



2 FRAME FIRST METHOD DIAGRAM  
1 SCALE: NTS

JOB NO.	DATE	CHECKED	DRAWN
MASTK360	17/12/2024	TML	FOS

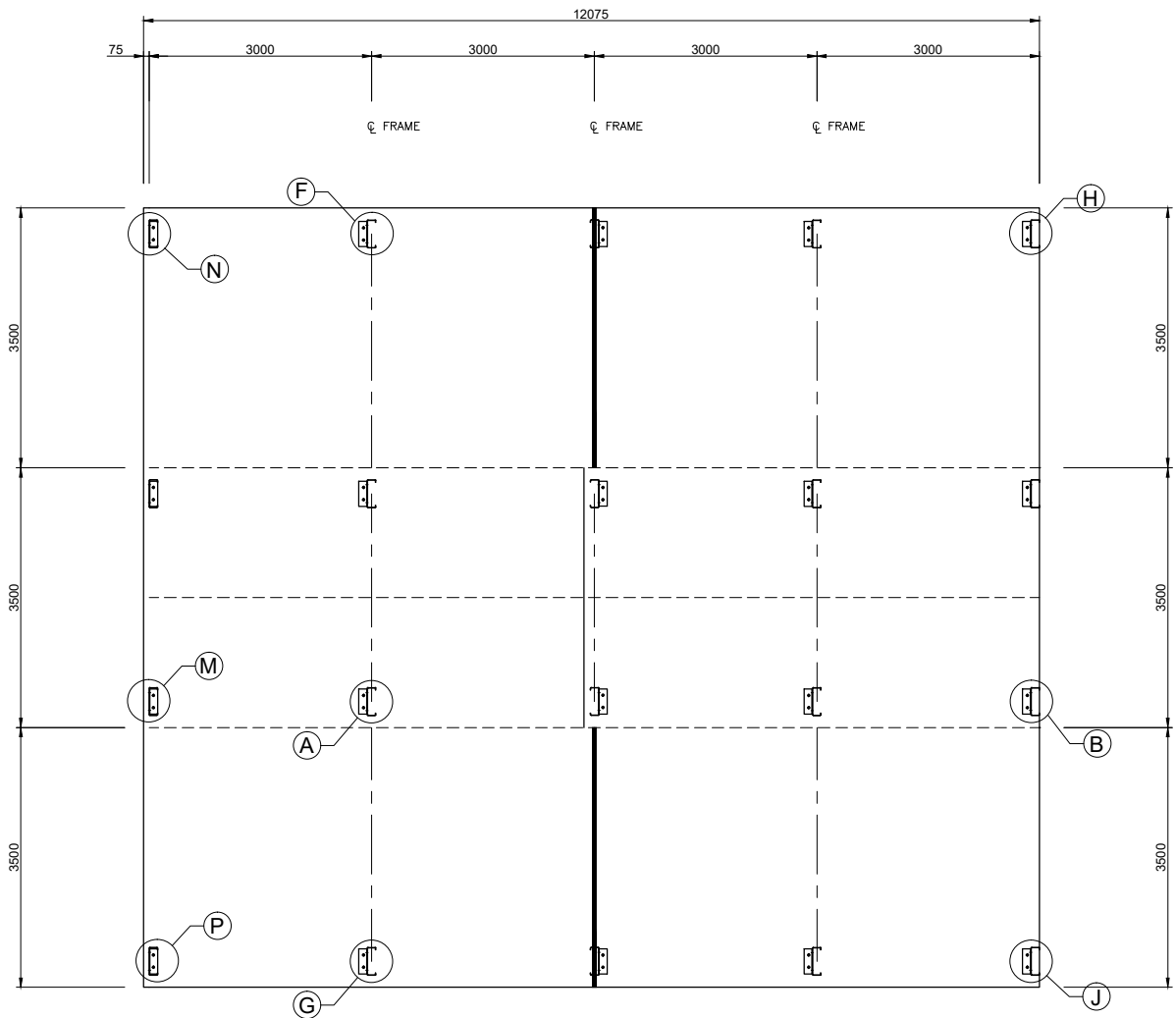
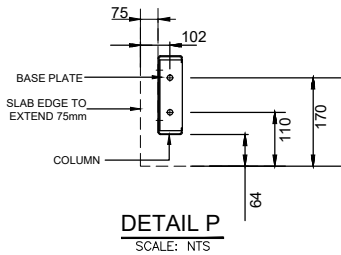
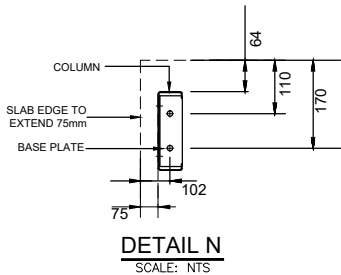
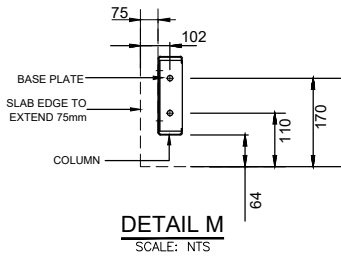
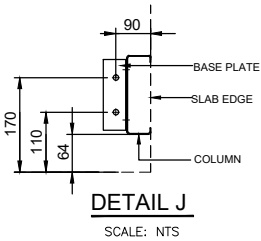
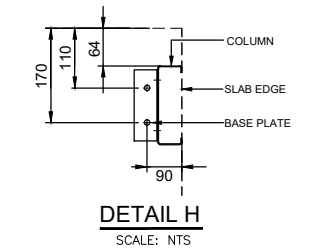
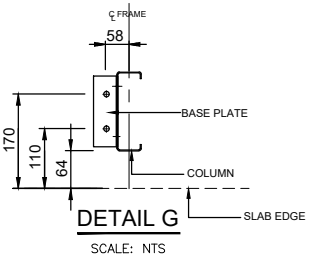
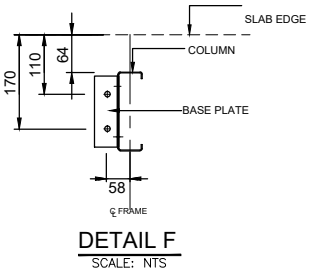
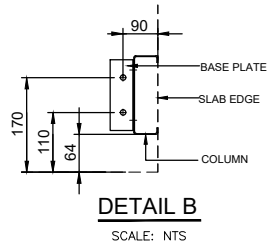
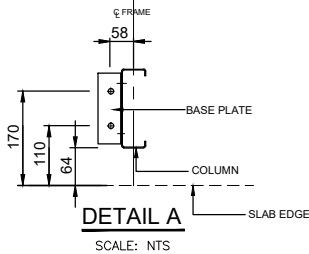
STEEL BUILDING BY  
**M.A. STEEL PTY. LTD. (LIC 225516C)**  
FOR 02 6382 4387  
AT  
RAYBLACKWOOD FOR EXTENDED SHOWGROUND MNGMT COM  
MURRINGO RD  
YOUNG



# TEMP BRACING



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1 BOLT LAYOUT PLAN  
SCALE: 1 = 100

IF YOU HAVE A ROLLER DOOR IN THE GABLE END OF YOUR SHED, CONTACT YOUR DISTRIBUTOR TO SEE IF MULLION NEEDS TO BE ROTATED FOR USE AS A DOOR JAMB.

NOT PART OF COUNCIL APPLICATION DOCUMENTATION

JOB NO. MASTK390	DATE 17/12/2024	CHECKED T.M.	DRAWN FOS	STEEL BUILDING BY <b>M.A. STEEL PTY. LTD. (LIC 225516C)</b> 02 6382 4387 FOR <b>RAY BLACKWOOD FOR EXTENDED SHOWGROUND MNGMT COM</b> AT MURRINGO RD YOUNG		<b>BOLT LAYOUT PLAN</b>

# COMPLIANCE CERTIFICATE FOR BUILDING DESIGN

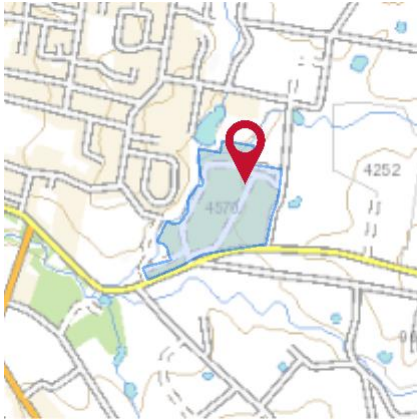
<b>Property Description</b> Street address (include number, street, suburb/locality & postcode)	MURRINGO RD YOUNG Postcode : 2594																													
<b>Description of Component/s Certified</b> Clearly describe the extent of work covered by this certificate.	Steel Portal Frame Structure. 3.5m span x 12m O/A length x 3.6m eaves height. Consisting of 4 bays at 3m spacing. Left leanto with 3.5m span, right leanto with 3.5m span.																													
<b>Basis of Certification</b> Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.	<div>Australian Standards (list) AS/NZS 4600-2018, AS/NZS 1170.0,1-2002, 1170.2-2021, 1170.3-2003, 1170.4-2007, AS2870-2011, AS3600-2018, AS5216-2021</div> <table><tr><td>2022 National Construction Code of Australia</td><td>NCC Building Classification: Class 10a</td></tr><tr><td>Region AS1170.2 = Reg A</td><td>Factor for Region = NA</td></tr><tr><td>NCC Importance Level = 2</td><td>NCC Equivalent Wind class = N/A</td></tr><tr><td>Annual Probability Exceedance wind = 1:500</td><td>Design Roof Live Load = 0.29 kPa</td></tr><tr><td>Regional 3 s Gust Wind Speed for annual probability of exceedance <math>V_R</math> = 45 m/s</td><td></td></tr><tr><td>Wind directional multipliers for the 8 cardinal directions <math>M_d</math> = 1.00</td><td></td></tr><tr><td>Terrain/Height multiplier (<math>M_z</math>, Cat) = 0.91</td><td>Shielding Multiplier <math>M_s</math> = 0.91</td></tr><tr><td>Topographic multiplier <math>M_t</math> = 1</td><td>Design Wind Speed = 37 m/s</td></tr><tr><td>Ext. Pressure Coefficient <math>c_{pe}</math> = -0.65, 0.70</td><td>Int. Pressure Coefficient <math>c_{pi}</math> = -0.3, 0.3</td></tr></table>			2022 National Construction Code of Australia	NCC Building Classification: Class 10a	Region AS1170.2 = Reg A	Factor for Region = NA	NCC Importance Level = 2	NCC Equivalent Wind class = N/A	Annual Probability Exceedance wind = 1:500	Design Roof Live Load = 0.29 kPa	Regional 3 s Gust Wind Speed for annual probability of exceedance $V_R$ = 45 m/s		Wind directional multipliers for the 8 cardinal directions $M_d$ = 1.00		Terrain/Height multiplier ( $M_z$ , Cat) = 0.91	Shielding Multiplier $M_s$ = 0.91	Topographic multiplier $M_t$ = 1	Design Wind Speed = 37 m/s	Ext. Pressure Coefficient $c_{pe}$ = -0.65, 0.70	Int. Pressure Coefficient $c_{pi}$ = -0.3, 0.3									
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Ext. Pressure Coefficient $c_{pe}$ = -0.65, 0.70	Int. Pressure Coefficient $c_{pi}$ = -0.3, 0.3																													
<b>Reference Documentation</b> Clearly identify any relevant documentation, e.g numbered structural engineering plans	<div>Drawing Nos: 'Fair Dinkum Sheds' Structural Design Drawing</div> <div>To be read in conjunction with Pages 1 to 7</div> <div>For Job Number: MAST37390    DATED : 17/12/2024</div> <div>Specifications:</div> <div>Computations:</div> <div>Test Reports:</div> <div>Other Documentation:</div>																													
<b>Competent Person Details</b> A competent person for building work, means a person who is assessed by the building certifier for the work as competent to practise in aspect of the design, building or inspection of the building work because of the person's skill and experience in the aspect. The competent person must also be registered or licensed under a law applying in the state to practice the aspect.  A COPY OF A CURRENT CV AND PROFESSIONAL REGISTRATION DETAILS MUST BE PROVIDED WITH THE CERTIFICATE	<table><tr><td>Name:</td><td colspan="2">Timothy Roy Messer</td></tr><tr><td>Company Name (If applicable):</td><td colspan="2">Northern Consulting Engineers</td></tr><tr><td>Postal Address:</td><td colspan="2">50 Punari Street, Currajong 4812</td></tr><tr><td>Contact Person:</td><td colspan="2">Timothy Roy Messer</td></tr><tr><td>Telephone Number:</td><td colspan="2">07 4725 5550</td></tr><tr><td>Mobile Number:</td><td colspan="2">N/A</td></tr><tr><td>Fax Number:</td><td colspan="2">07 4725 5850</td></tr><tr><td>Email Address:</td><td colspan="2">design@nceng.com.au</td></tr><tr><td>License or Registration Number:</td><td>2558980</td><td>Copy of CV Attached:    Tick Box</td></tr></table> <div>Y <input type="checkbox"/> or N <input checked="" type="checkbox"/></div>			Name:	Timothy Roy Messer		Company Name (If applicable):	Northern Consulting Engineers		Postal Address:	50 Punari Street, Currajong 4812		Contact Person:	Timothy Roy Messer		Telephone Number:	07 4725 5550		Mobile Number:	N/A		Fax Number:	07 4725 5850		Email Address:	design@nceng.com.au		License or Registration Number:	2558980	Copy of CV Attached:    Tick Box
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Fax Number:	07 4725 5850																													
Email Address:	design@nceng.com.au																													
License or Registration Number:	2558980	Copy of CV Attached:    Tick Box																												
<b>Signature of Competent Person</b> This form may be used by competent persons to certify the design of a material, system, method of building, building element design or other thing.  If the competent person is a licensed company the authorised person of the company is to sign the form.	<div>I certify that the item/s described above, if installed or carried out in accordance with the information contained in this certificate, including any referenced documentation, will comply with the National Construction Code of Australia/relevant Australian or International Standard.</div> <div>Signature of competent person: </div> <div>Date: 17/12/2024</div>																													
LOCAL GOVERNMENT USE ONLY																														
Date received		Reference Number/s																												

## SECTION 4

# PLANNING PORTAL REPORT

# Property Report

4570 MURRINGO ROAD YOUNG 2594



## Property Details

Address: 4570 MURRINGO ROAD YOUNG 2594  
 Lot/Section 1567/-/DP754611 1895/-/DP754611 1944/-/DP754611  
 /Plan No: 2285/-/DP754611 2303/-/DP754611 2331/-/DP754611  
 Council: HILLTOPS COUNCIL

## Summary of planning controls

Planning controls held within the Planning Database are summarised below. The property may be affected by additional planning controls not outlined in this report. Please contact your council for more information.

Local Environmental Plans	Hilltops Local Environmental Plan 2022 (pub. 23-12-2022)
Land Zoning	RE2 - Private Recreation: (pub. 23-12-2022)
Height Of Building	NA
Floor Space Ratio	NA
Minimum Lot Size	NA
Heritage	Young Showground Art Hall Significance: Local Young Showground Grandstand Significance: Local Young Showground Main Pavilion Significance: Local Young Showground Sheep Pavilion and Cattle Shed Significance: Local Young Showground Stan Lowe Pavilion Significance: Local
Land Reservation Acquisition	NA
Foreshore Building Line	NA
Terrestrial Biodiversity	Biodiversity

## Detailed planning information

### State Environmental Planning Policies which apply to this property

State Environmental Planning Policies can specify planning controls for certain areas and/or types of development. They can also identify the development assessment system that applies and the type of environmental assessment that is required.

This report provides general information only and does not replace a Section 10.7 Certificate (formerly Section 149)



# *Property Report*

4570 MURRINGO ROAD YOUNG 2594

- State Environmental Planning Policy (Biodiversity and Conservation) 2021: Allowable Clearing Area (pub. 21-10-2022)
- State Environmental Planning Policy (Biodiversity and Conservation) 2021: Land Application (pub. 2-12-2021)
- State Environmental Planning Policy (Exempt and Complying Development Codes) 2008: Land Application (pub. 12-12-2008)
- State Environmental Planning Policy (Housing) 2021: Land Application (pub. 26-11-2021)
- State Environmental Planning Policy (Industry and Employment) 2021: Land Application (pub. 2-12-2021)
- State Environmental Planning Policy (Planning Systems) 2021: Land Application (pub. 2-12-2021)
- State Environmental Planning Policy (Primary Production) 2021: Land Application (pub. 2-12-2021)
- State Environmental Planning Policy (Resilience and Hazards) 2021: Land Application (pub. 2-12-2021)
- State Environmental Planning Policy (Resources and Energy) 2021: Land Application (pub. 2-12-2021)
- State Environmental Planning Policy (Sustainable Buildings) 2022: Land Application (pub. 29-8-2022)
- State Environmental Planning Policy (Transport and Infrastructure) 2021: Land Application (pub. 2-12-2021)

This report provides general information only and does not replace a Section 10.7 Certificate (formerly Section 149)



# Property Report

4570 MURRINGO ROAD YOUNG 2594

## Other matters affecting the property

Information held in the Planning Database about other matters affecting the property appears below. The property may also be affected by additional planning controls not outlined in this report. Please speak to your council for more information

1.5 m Buffer around Classified Roads	Classified Road Adjacent
Biodiversity Value (BV) Map	Clearing native vegetation for a development on an area on the BV Map may require a Biodiversity Development Assessment Report. Consult your local council.
Crown Land	Crown Land
Government Property Index:Lot Area	11288 sqm 126110 sqm 15732 sqm 32671 sqm 3448 sqm 7014 sqm
Land near Electrical Infrastructure	This property may be located near electrical infrastructure and could be subject to requirements listed under Transport and Infrastructure SEPP 2021 Clause 2.48. Please contact Essential Energy for more information.
Local Aboriginal Land Council	YOUNG
Regional Plan Boundary	South East and Tablelands

This report provides general information only and does not replace a Section 10.7 Certificate (formerly Section 149)

---

# Hilltops Local Environmental Plan 2022

Current version for 10 November 2023 to date (accessed 10 March 2025 at 11:55)

[Part](#) > pt-cg1.Zone\_RE2

---

## Zone RE2 Private Recreation

### 1 Objectives of zone

- To enable land to be used for private open space or recreational purposes.
- To provide a range of recreational settings and activities and compatible land uses.
- To protect and enhance the natural environment for recreational purposes.

### 2 Permitted without consent

Nil

### 3 Permitted with consent

Aquaculture; Community facilities; Environmental facilities; Environmental protection works; Kiosks; Markets; Recreation areas; Recreation facilities (indoor); Recreation facilities (outdoor); Roads; Sewage reticulation systems; Any other development not specified in item 2 or 4

### 4 Prohibited

Agriculture; Air transport facilities; Airstrips; Amusement centres; Animal boarding or training establishments; Boat building and repair facilities; Boat launching ramps; Boat sheds; Cemeteries; Charter and tourism boating facilities; Commercial premises; Correctional centres; Crematoria; Depots; Early education and care facilities; Eco-tourist facilities; Educational establishments; Electricity generating works; Emergency services facilities; Exhibition homes; Exhibition villages; Extractive industries; Farm buildings; Forestry; Freight transport facilities; Health services facilities; Heavy industrial storage establishments; Highway service centres; Home businesses; Home occupations; Home occupations (sex services); Industrial retail outlets; Industrial training facilities; Industries; Information and education facilities; Jetties; Local distribution premises; Marinas; Mooring pens; Moorings; Mortuaries; Open cut mining; Passenger transport facilities; Places of public worship; Port facilities; Public administration buildings; Research stations; Residential accommodation; Respite day care centres; Restricted premises; Rural industries; Service stations; Sewerage systems; Sex services premises; Storage premises; Tourist and visitor accommodation; Transport depots; Truck depots; Vehicle body repair workshops; Vehicle repair stations; Veterinary hospitals; Warehouse or distribution centres; Waste or resource management facilities; Water recreation structures; Water treatment facilities; Wholesale supplies



## SECTION 5

### TITLE & DEPOSITED PLAN



FOLIO: 1895/754611

-----

SEARCH DATE	TIME	EDITION NO	DATE
-----	----	-----	----
14/4/2025	1:41 PM	1	1/9/2018

LAND

-----

LOT 1895 IN DEPOSITED PLAN 754611  
AT YOUNG  
LOCAL GOVERNMENT AREA HILLTOPS  
PARISH OF YOUNG COUNTY OF MONTEAGLE  
(FORMERLY KNOWN AS PORTION 1895)  
TITLE DIAGRAM CROWN PLAN 2326.1780

FIRST SCHEDULE

-----

CYRIL STEWARD ROBERTSON  
EDWARD BENJAMIN MASINA  
VALENTINE PARKHOUSE BRAGG  
JIM PAGE  
PETER JOHN ROBERTSON  
AS JOINT TENANTS (AP G533203)

SECOND SCHEDULE (5 NOTIFICATIONS)

-----

- 1 LAND EXCLUDES MINERALS AND IS SUBJECT TO RESERVATIONS AND CONDITIONS IN FAVOUR OF THE CROWN - SEE CROWN GRANT(S)
- 2 DEDICATED AS SITE FOR A SHOW GROUND SEE CROWN GRANT
- 3 G533204 MORTGAGE TO AUSTRALIA AND NEW ZEALAND BANKING GROUP LIMITED
- 4 L610617 MORTGAGE TO COUNCIL OF THE SHIRE OF BURRANGONG
- 5 THE LAND IS A RESERVE WITHIN THE MEANING OF PART 5 OF THE CROWN LANDS ACT 1989 AND THERE ARE RESTRICTIONS ON TRANSFER AND OTHER DEALINGS IN THE LAND UNDER THAT ACT, WHICH MAY REQUIRE CONSENT OF THE MINISTER.

NOTATIONS

-----

UNREGISTERED DEALINGS: NIL

\*\*\* END OF SEARCH \*\*\*

APPLD  
ELLAVES  
3109  
MAY 18 1909

100

as Reserve for Public Recreation

vide MS. 81.787. Approval to be returned from Benjamin<sup>1</sup> Com<sup>2</sup> and passed for Public Use.

PERMANENT COMM

*for 805 no less k. / for Public Recreation on X<sup>nd</sup> May '86  
vide 88-3837 report card; Meow's Hillfarm  
Rd. vol 11th June '87*

[illegible]

Dedication for Ruth revoked \* \* \* \* \*  
 & land resumed with the land 110

Hide bag 6<sup>th</sup> April 95 re identified as 279a  
for 5207 (found)  
J. Schmidt  
8.0.30.

120

7.3.2  
M295a

1876

3

pos

M.E. 1780 roll.

*M. L. 3. 1780 roll.*

30<sup>th</sup> of August

1-3-7.	2ac.
989	ada ada

7.00	C Johnson
------	-----------

1

ould

LIBRARY

COMMON

NO ADDITIONS OR AMENDMENTS TO BE MADE

NO ADDITIONS OR AMENDMENTS TO BE MADE

is taken from Office Map of the  
Town of Haveray.

1700

*inopuntius neelyi* (Lindbergh) of Brown & Green

*AB produced.*

Plan examined & approved  
2nd June 1884

Value of Improvement £17  
{ but £5  
{ but £10  
{ but £15  
{ but £20  
{ but £25  
{ but £30  
{ but £35  
{ but £40  
{ but £45  
{ but £50  
{ but £55  
{ but £60  
{ but £65  
{ but £70  
{ but £75  
{ but £80  
{ but £85  
{ but £90  
{ but £95  
{ but £100

Value of Improvement	717	{	But 4.10
			But 2.5
			Out House 2

Scale. ~~20~~ Chains to an Inch.

[illegible]

I hereby certify that the person made out on the 8<sup>th</sup> Dec. 1884 completed the survey represented on this plan, on which are written

*published for the guidance of licensed Surveyors, and the practice of the Surveyor General's Department.*

**INCORPORATED**

NO ADDITIONS OR AMENDMENTS 1/10/86/11/12/86

Wesley, S. On the Fidelity of the

1-2326



Cat. N<sup>o</sup> M5780 1780

## Department of Planning, Housing and Infrastructure

Letter to Applicant  
(consent granted)

Our reference: GB80R181-006#06  
LOC No: 676677

24 March 2025

Young Showground Land Manager  
4 Jimmy Noonan Close  
YOUNG NSW 2594

By Email: [youngshowgroundtrust@gmail.com](mailto:youngshowgroundtrust@gmail.com)  
Cc: [craig@dabusters.com](mailto:craig@dabusters.com)

Dear Sir/Madam

<b>Consent for Development Comprising:</b>	Construction of a 12m x 10.5m storage shed at the Young Showground.
<b>Crown Land</b>	Lot 1895 DP 754611
<b>Crown reserve</b>	Reserve 530011 for Showground Gazetted 6 April 1985
<b>Parish</b>	Young
<b>County</b>	Monteagle
<b>Applicant</b>	Young Showground Land Manager

Consent is granted by the Minister for Water, Property & Housing to the lodgement of applications for approval under the *Environmental Planning and Assessment Act 1979*, and other associated applications required under other legislation, for the development proposal described above.

The Land Owner Consent is granted conditional to the following:

1. Land Owner Consent will expire after a period of 12 months from the date of this letter if not acted on within that time. Extensions of this consent may be sought
2. You are required to forward a copy of the DA approval to the NSW Department of Planning, Industry & Environment – Crown Lands (“the Department”) after approval and prior to commencing works.
3. You are required to ensure that the approval provided is consistent with this Land Owner Consent.
4. The Land Owner Consent is provided for the works detailed on the plans provided by you and retained by the Department as DOC25/058425

Land Owner Consent is granted in accordance with the following:

- Land Owner Consent is given without prejudice so that consideration of the proposed development may proceed under the *Environmental Planning and Assessment Act 1979* and any other relevant legislation.
- The grant of this Land Owner Consent does not guarantee that any subsequent authority to occupy will be granted.



- Land Owner Consent does not imply the concurrence of the Minister for Water, Property & Housing for the proposed development and does not provide authorisation under the Crown Lands Act 1989 for this proposal.
- The issue of Land Owner Consent does not prevent the Department from making any submission commenting on, supporting or opposing an application.
- The Minister reserves the right to issue Land Owner Consent for the lodgement of applications for any other development proposals on the subject land concurrent with this Land Owner Consent.
- Any changes made to the proposal, including those imposed by the consent authority, must be consistent with the Land Owner Consent and therefore if modifications are made to the proposed development details must be provided to the Department for approval.
- Land Owner Consent also allows application to any other approval authority necessary for this development proposal.

This letter should be submitted to the relevant consent or approval authority in conjunction with the development application and/or any other application. You are responsible for identifying and obtaining all other consents, approvals and permits required under NSW and Commonwealth laws from other agencies for the proposed development.

It is important that you understand your obligations relating to Condition 3. If any alterations are made to the application (whether in the course of assessment, by conditions of consent, or otherwise), it is your responsibility to ensure the amended or modified development remains consistent with this Land Owner Consent. If there is any inconsistency or uncertainty you are required to contact the Department before undertaking the development to ensure that the Department consents to the changes. A subsequent LOC application may incur additional application fees.

It is advised that the Department will provide Hilltops Council a copy of this Land Owner Consent and will request that Hilltops Council notify the Department of the subsequent development application, for potential comment, as part of any public notification procedure.

Should you require any further information, please do not hesitate to contact me at the Goulburn Crown Lands Office by phone on 02 4824 3731 or email [tia.galvin@dpie.nsw.gov.au](mailto:tia.galvin@dpie.nsw.gov.au)

Yours sincerely



Tia Galvin  
A/Senior Property Management Officer  
Department of Planning, Housing and Infrastructure - Crown Lands

## Attachment A – Location Map

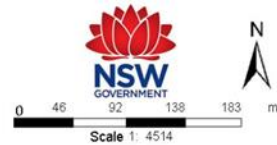


**Legend**

Aboriginal Land Claim Boundary	Non Crown Land
Licence (Structure Point)	Crown Land - Undefined Status
Licence (Structure Line)	Crown Road
Licence (Structure Polygon)	Shared Crown / Council Road
Licence (Land Area)	Crown Road - Undefined Status
Crown Lease	Crown Waterway
Enclosure Permit	All Crown (Land, Road & Water)
Crown Reserve	Local Government Area
Crown Land (Other)	Suburb
Crown Land	National Parks Reserve
Crown Land - Status Unknown	State Forest

### Crown Account Details

Parish: YOUNG  
 County: MONTEAGLE  
 LGA: HILLTOPS  
 Suburb: YOUNG  
 Author: DP\galv03  
 Map Created: 17/03/2025 8:46:15 AM

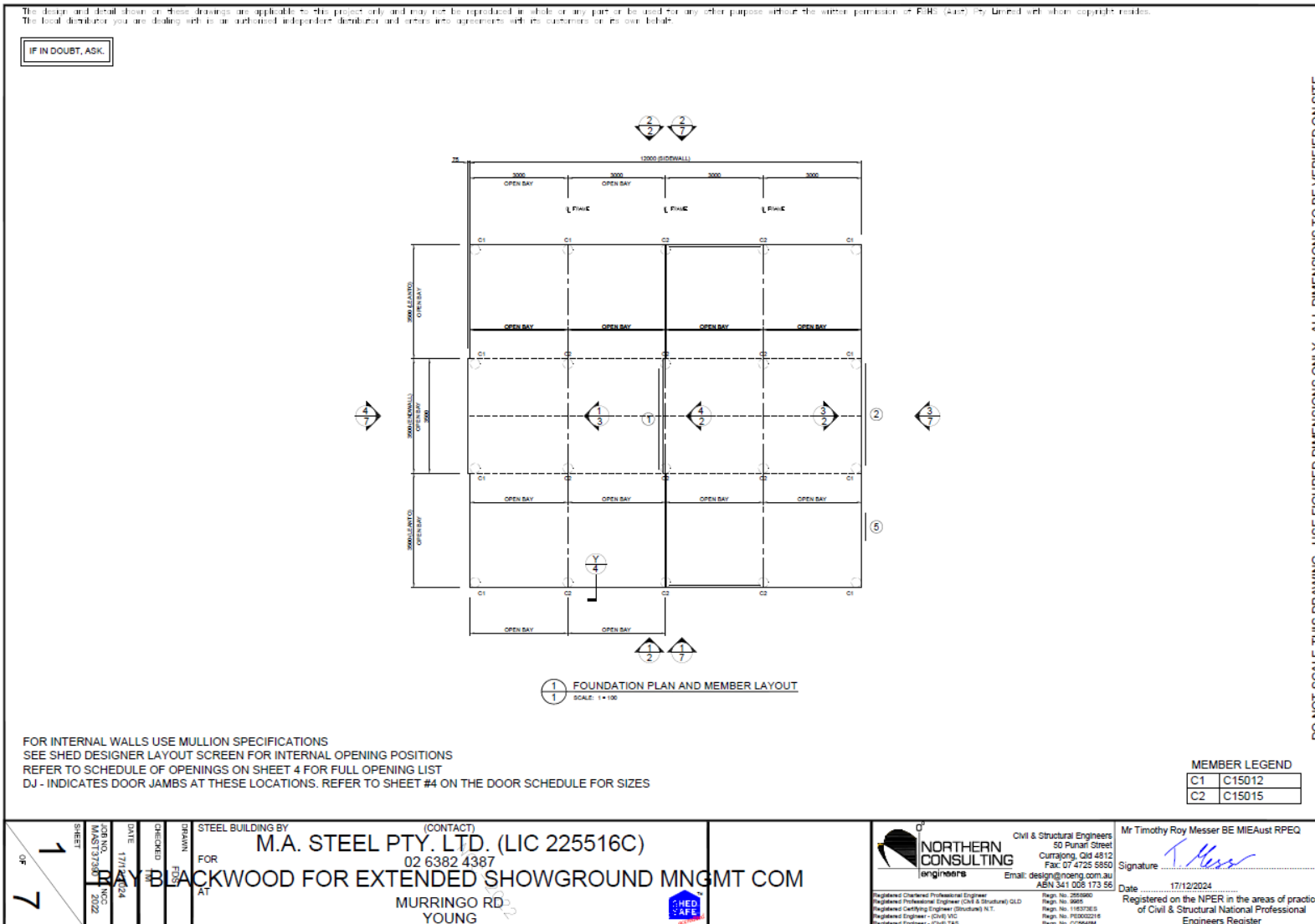


Projection: WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere

Disclaimer: Scale is not accurate. Crown Lands must not be liable for any loss or damage (including loss of profits, business, revenue or data) whether in contract, tort (including negligence) or otherwise arising from or in connection with any defect, error or inaccuracy of information or any part thereof or any products or services.

Copyright: Department of Planning, Housing and Infrastructure - Crown Lands 2025.

## Attachment B – Plans



## SECTION 6

### SITE PHOTOGRAPHS & OTHER PLANNING INFO



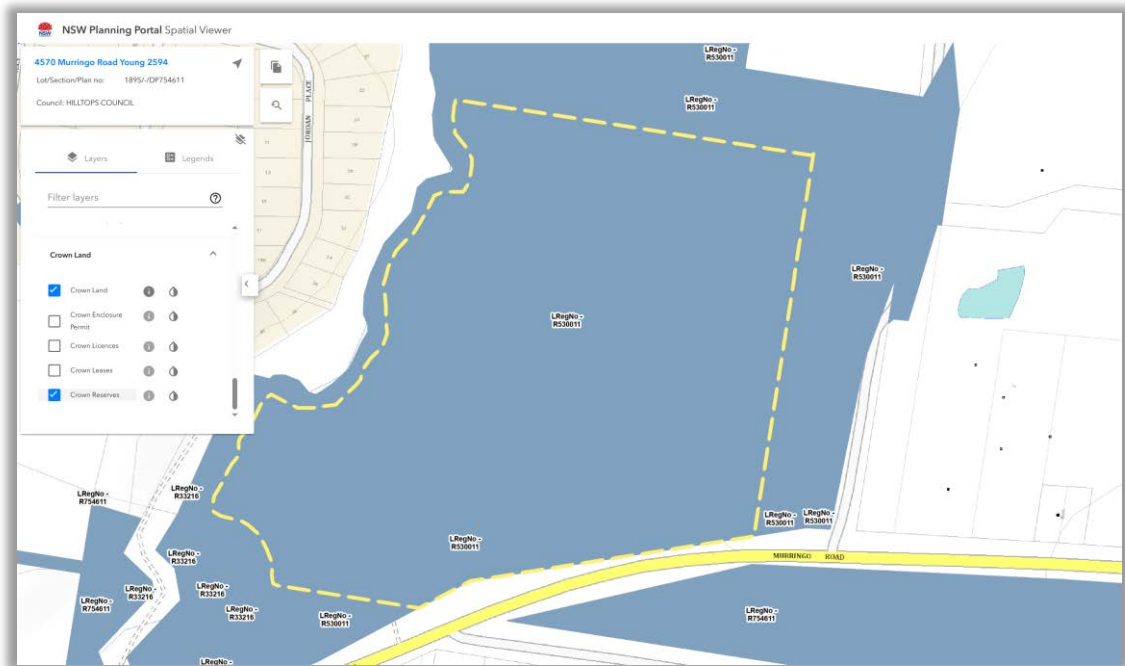


SIX NSW Topographic map of area  
Relatively level at site

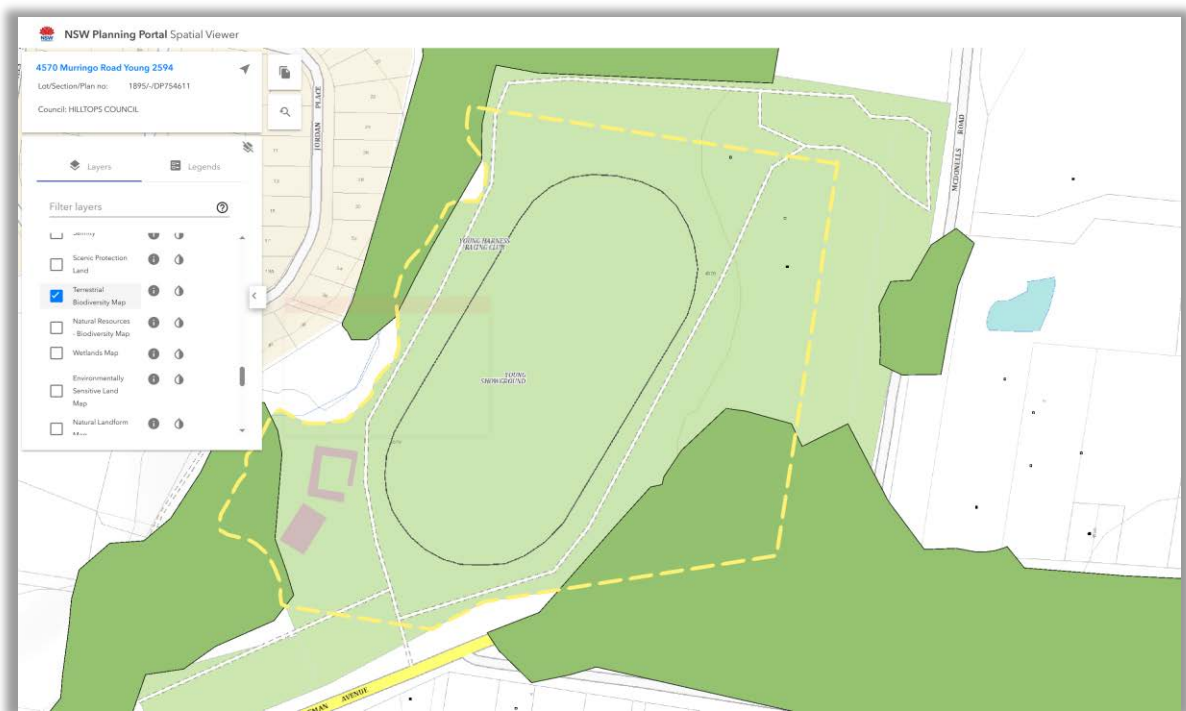


Land zoning map RE2 – HILLTOPS LEP 2022

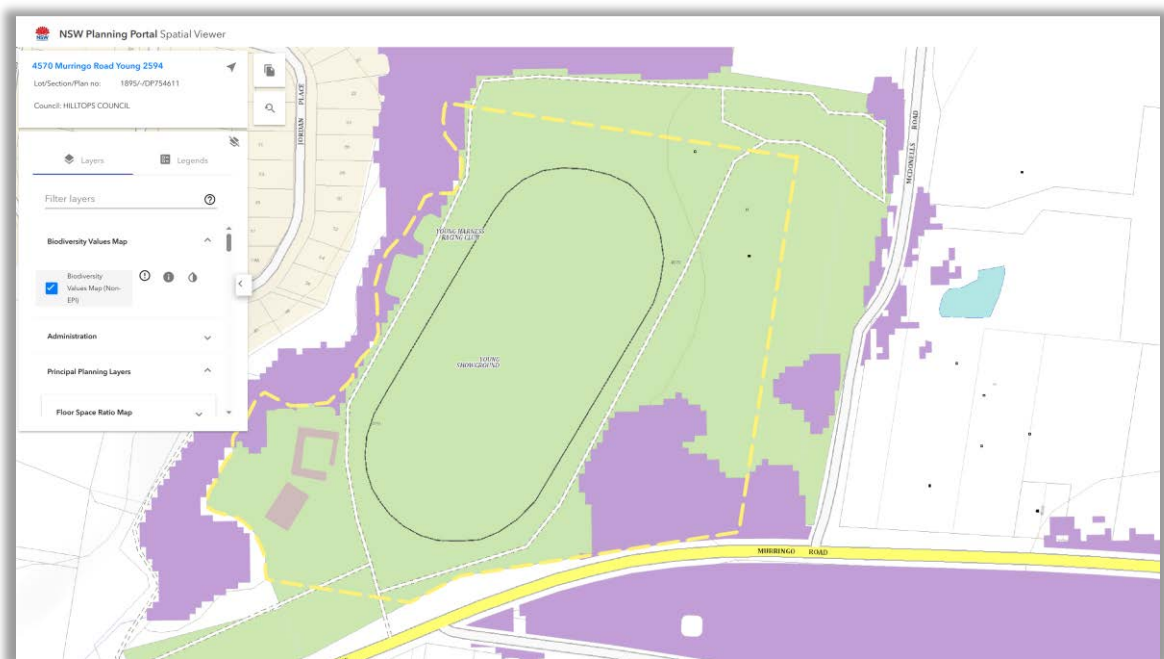
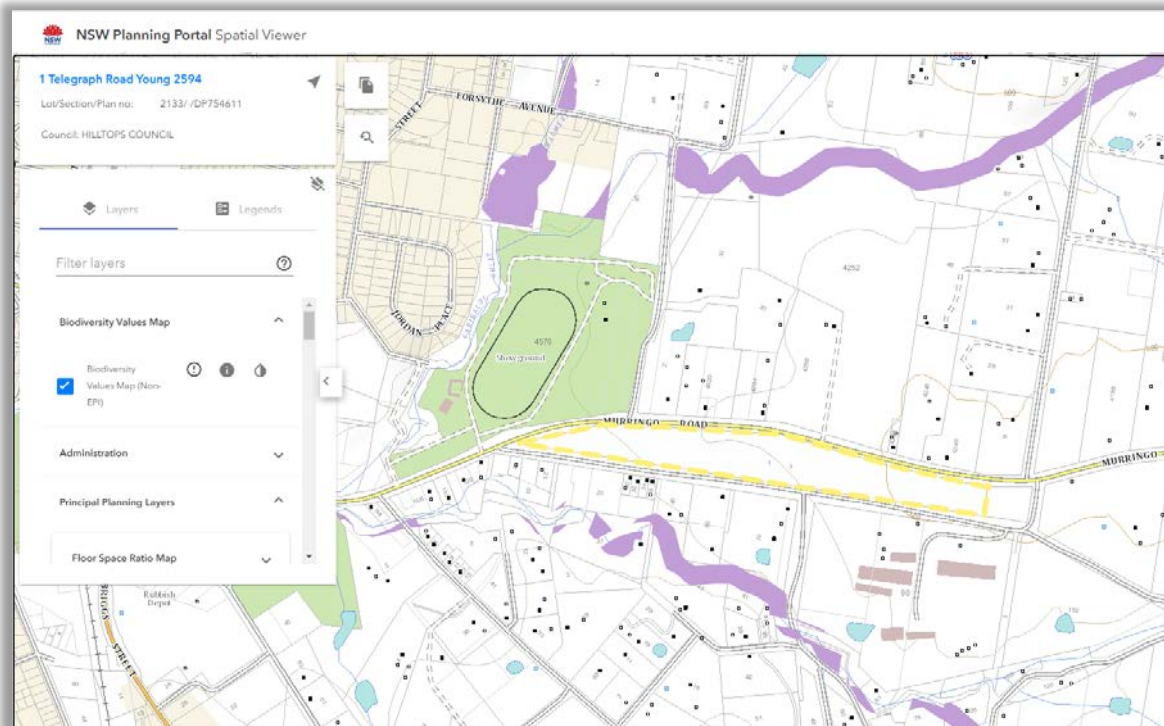




Crown Lands map – HILLTOPS LEP 2022  
Reserve R530011



NR BIO – N/A AS OVER EXISTING ACCESS & NO CHANGE  
Site of small shed free of trees



BOSET MAPPING NOT ON SITE OF SHED

## SECTION 7 OTHER PLANNING SEARCHES

AHIMS search

BOSET Search

Kenneth Filmer

Date: 14 April 2025

18 Pineview Cct 91 Boorowa Street Young  
Young New South Wales 2594

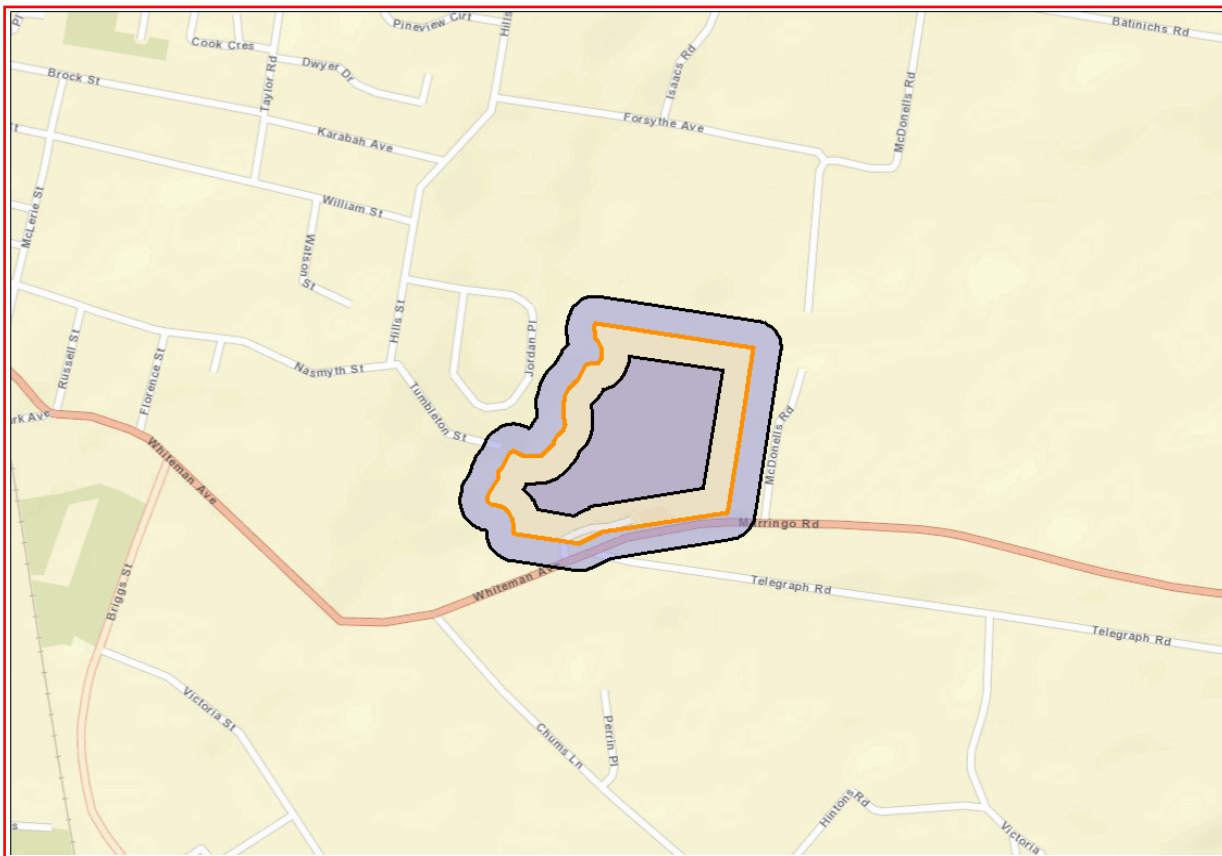
Attention: Kenneth Filmer

Email: craig@dabusters.com

Dear Sir or Madam:

**AHIMS Web Service search for the following area at Lot : 1895, DP:DP754611, Section : - with a Buffer of 50 meters, conducted by Kenneth Filmer on 14 April 2025.**

The context area of your search is shown in the map below. Please note that the map does not accurately display the exact boundaries of the search as defined in the paragraph above. The map is to be used for general reference purposes only.



A search of Heritage NSW AHIMS Web Services (Aboriginal Heritage Information Management System) has shown that:

0	Aboriginal sites are recorded in or near the above location.
0	Aboriginal places have been declared in or near the above location. *

**If your search shows Aboriginal sites or places what should you do?**

- You must do an extensive search if AHIMS has shown that there are Aboriginal sites or places recorded in the search area.
- If you are checking AHIMS as a part of your due diligence, refer to the next steps of the Due Diligence Code of practice.
- You can get further information about Aboriginal places by looking at the gazettal notice that declared it. Aboriginal places gazetted after 2001 are available on the [NSW Government Gazette \(https://www.legislation.nsw.gov.au/gazette\)](https://www.legislation.nsw.gov.au/gazette) website. Gazettal notices published prior to 2001 can be obtained from Heritage NSW upon request

**Important information about your AHIMS search**

- The information derived from the AHIMS search is only to be used for the purpose for which it was requested. It is not be made available to the public.
- AHIMS records information about Aboriginal sites that have been provided to Heritage NSW and Aboriginal places that have been declared by the Minister;
- Information recorded on AHIMS may vary in its accuracy and may not be up to date. Location details are recorded as grid references and it is important to note that there may be errors or omissions in these recordings,
- Some parts of New South Wales have not been investigated in detail and there may be fewer records of Aboriginal sites in those areas. These areas may contain Aboriginal sites which are not recorded on AHIMS.
- Aboriginal objects are protected under the National Parks and Wildlife Act 1974 even if they are not recorded as a site on AHIMS.
- This search can form part of your due diligence and remains valid for 12 months.